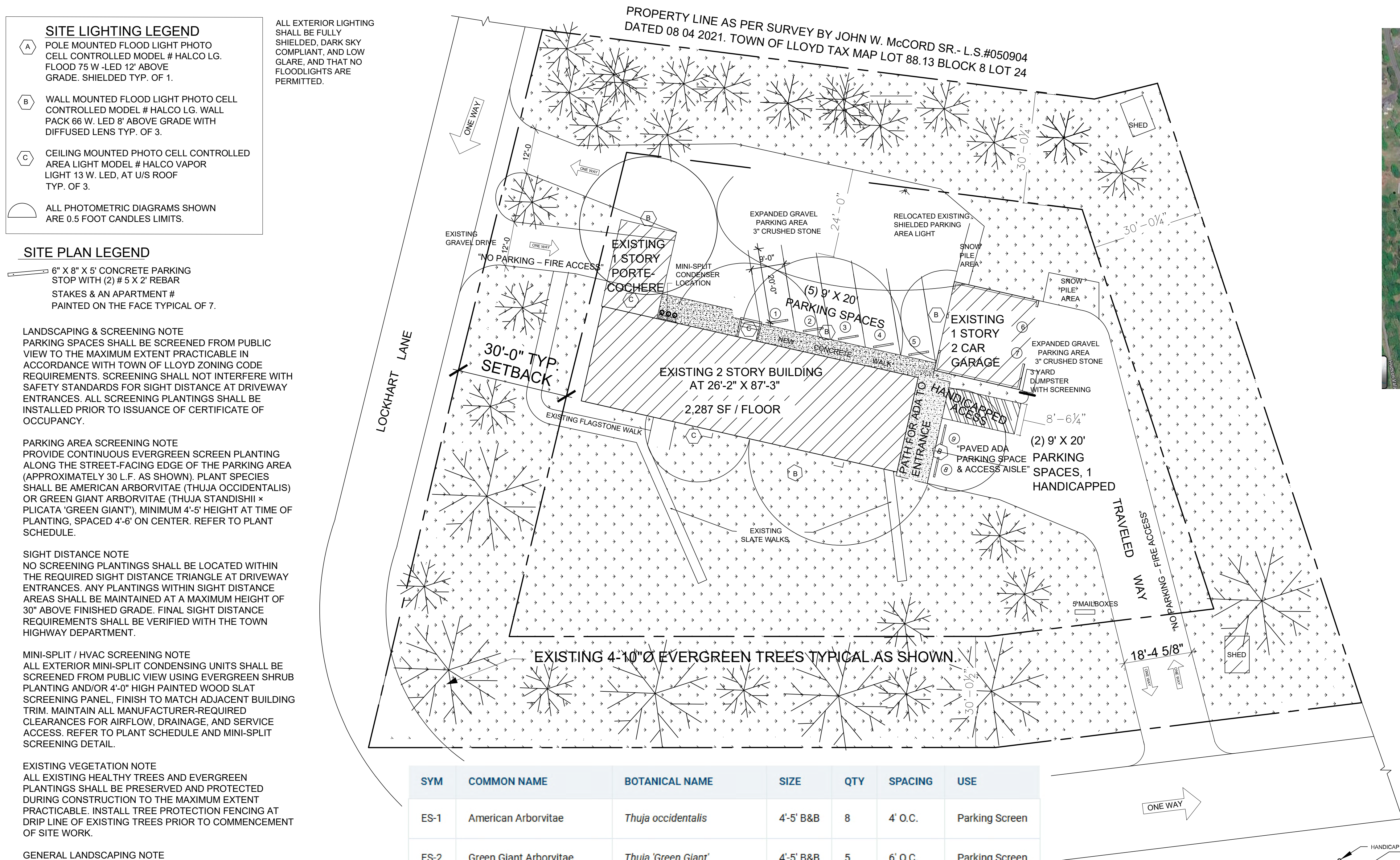




Sym	Common Name	Botanical Name	Size	Qty	Spacing	Use
ES-1	American Arborvitae	<i>Thuja occidentalis</i>	4'-5' B&B	8	4' O.C.	Parking Screen
ES-2	Green Giant Arborvitae	<i>Thuja 'Green Giant'</i>	4'-5' B&B	5	6' O.C.	Parking Screen
HS-1	Densiflora Yew	<i>Taxus x media 'Densiflora'</i>	2 gal.	6	3' O.C.	HVAC Screen
GL-1	Endless Summer Hydrangea	<i>Hydrangea macrophylla</i>	2 gal.	6	36" O.C.	Foundation
GL-2	Karl Foerster Grass	<i>Calamagrostis 'Karl Foerster'</i>	1 gal.	8	24" O.C.	Accent

1 LOCKHART LANE- .91 ACRES - TAX # 88.13-8-24

LOT AREA - 39,825 SF / HOUSE + GARAGE + PORTE-COCHERE = 3,120 SF 7.8% COVERAGE

OPEN SPACE - 36,705 SF , 92.2% TAX MAP - SECTION 88.13 BLOCK 8 LOT 24

BUILDINGS AREA - 3,120 SF + PARKING & DRIVE AT 3,242 SF RECORD DOCUMENT BOOK 2827 PAGE 286

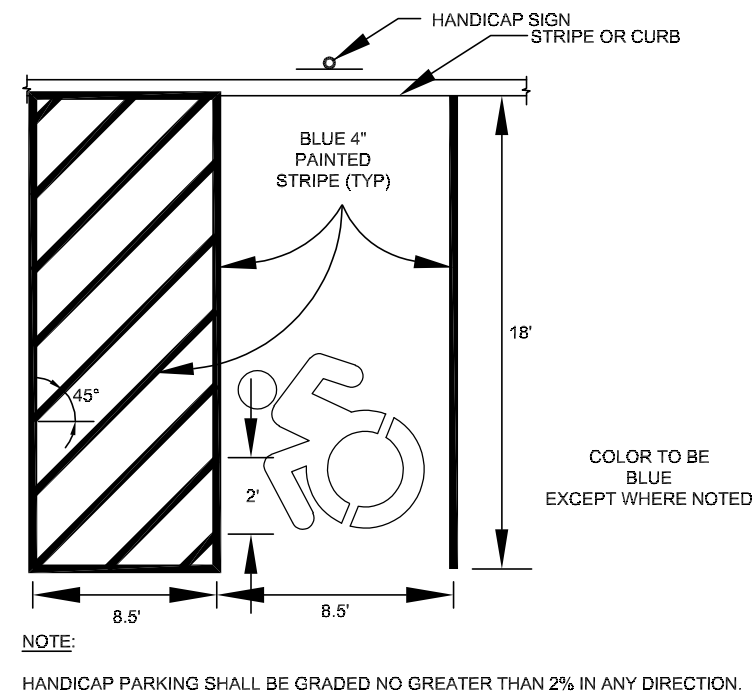
BUILDING 2 APTS @ FIRST FLOOR + 2 UNITS @ 2ND. FLOOR = 4 UNITS

PARKING (3) 3 BR. APT'S @ 2 SPACES EA.= 6 SPACES.

(1) 2 BR. APARTMENT @ 2 SPACES = 8 REQUIRED.

9 SPACES PROVIDED AT 9' X 20', 1 handicapped with

ACCESS & TURNING = 3,242 SF



DOUBLE HANDICAP PARKING
N.T.S.



CONN. D.O.T. SERIES 30 #31-0629

VAN
ACCESSIBLE

CONN. D.O.T. SERIES 30 #31-0648

HANDICAPPED
PARKING SIGN DETAIL
N.T.S.



 LOCATION PLAN

NOT TO SCALE

PROJECT SCOPE:

SPECIAL PERMIT, CHANGE OF USE & LEVEL II ALTERATIONS
INCLUDING RENOVATIONS TO AN EXISTING WOOD FRAME &
MASONRY 1 FAMILY RESIDENCE TO A 4 UNIT APARTMENT BUILDING.
THESE ALTERATIONS & RENOVATIONS REPRESENT LESS THAN A
50% CHANGE TO THE PHYSICAL MAKEUP OF THE EXISTING
OVERALL STRUCTURE.

EXTERIOR: the FOOTPRINT, FOUNDATION, & ROOF WILL REMAIN VIRTUALLY UNCHANGED EXCEPT FOR (1) NEW SMALL 20 S.F. ENTRY PORCH. THE EXTERIOR FACADE WILL BE MODIFIED TO ALLOW FOR THE CODE REQUIRED EGRESS, LIGHT & VENTILATION REQUIREMENTS BY REPLACING THE EXISTING WINDOWS WITH LARGER; NATURAL LIGHT, VENTILATION AND ENERGY COMPLIANT UNITS AT THE EXISTING WINDOW LOCATIONS. ONE WINDOW UNIT IN EACH BEDROOM TO BE EGRESS COMPLIANT.

INTERIOR: APPROXIMATELY 90 L.F OF THE EXISTING INTERIOR WALLS ARE TO BE REMOVED & 80 L.F OF NEW WALLS ARE TO BE INSTALLED.

2 BATHROOM MODIFICATIONS AND 1 NEW KITCHEN WITH NEW
FIXTURES AND FLOOR FINISHES, TO BE INSTALLED.

UPGRADING THE EXISTING/ COOLING HEATING SYSTEMS WITH NEW MINI SPLIT UNITS.

FIREPROOFING OF ALL APARTMENT DEMISING WALLS AND ALL FIRST FLOOR CEILINGS WITH 5/8" TYPE "X" GWB INCLUDING ALL EXISTING INTERNAL STAIRWAYS AND ASSOCIATED CORRIDORS AND CEILINGS TO PROVIDE ONE HOUR FIRE RATING. SECOND FLOOR APARTMENT ENTRY DOORS SHALL BE ONE HOUR FIRE RATED SELF-CLOSING DOOR ASSEMBLIES. 2 INTERNAL STAIRWAY TO RECEIVE EMERGENCY LIGHTING AND EXIT SIGNAGE.

INTERCONNECTED HARDWIRED & BATTERY BACKUP SMOKE / CO DETECTORS TO BE INSTALLED AT EVERY BEDROOM AND IMMEDIATELY OUTSIDE OF THOSE BEDROOM AREAS AS WELL AS AT BOTH LEVELS OF THE EXISTING STAIRWAYS AND 2 AT THE BASEMENT LEVEL.

EACH APARTMENT BEDROOM TO RECEIVE PRIVACY DOOR AND CLOSET SPACE AS SHOWN ON DRAWINGS.

THE 2 FIRST FLOOR UNITS TO RECEIVE NEW ELECTRICAL SERVICE INCLUDING INDIVIDUAL CIRCUIT BREAKER BOXES AT EACH APARTMENT. EACH ROOM TO HAVE A SWITCHED CEILING FIXTURE. ALL BATHROOMS AND KITCHEN AREAS TO RECEIVE GROUND FAULT CIRCUIT INTERRUPTER OUTLETS. ALL APARTMENTS ARE TO BE PROVIDED WITH AN INTERCOM AND DOOR LATCH RELEASE CONTROLLING THE FRONT ENTRY DOOR WITH AN INTERCONNECT TO AN EXTERIOR SPEAKER AND AN INDIVIDUAL APARTMENT SELECTION UNIT.

AS INDICATED ON THE SITE PLAN NEW PARKING FOR 9 VEHICLES
1 IS AN ADA COMPLIANT HANDICAPPED SPACE AND ACCESS
DRIVES TO BE PROVIDED. SEE SHEET C-1.

NOTE: THIS IS AN EXISTING RESIDENCE ON APPROXIMATELY 1 ACRE AND PARKING IS PROVIDED ON SITE. SEE PLOT PLAN C-1.

REV	REVISION	DATE

REVISIONS

COVER

DRAWN BY; MDH

CHECKED BY; RE

DATE; 4/20/20

DRAWING NO.

C-1

NOTE:
DO NOT SCALE DRAWINGS - WRITTEN DIMENSIONS TAKE PRECEDENCE. IT IS UNLAWFUL TO MODIFY A DOCUMENT BEARING THE SEAL AND
IN CASE OF DISCREPANCIES OR CONFLICTS, NOTIFY DESIGN PROFESSIONAL. SIGNATURE OF A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER

CODE SUMMARY
Project Description
Project consists of the alteration and change of use of an existing detached wood-frame building located at 1 Lockhart Lane from a one-family residence to a four-unit apartment building. Proposed work includes Level II alterations, interior renovations, dwelling unit reconfiguration, associated architectural, structural, mechanical, electrical, and plumbing improvements, and related site modifications as indicated in the drawings.

Occupancy Classification
Group R-2

Construction Type
Type VB, existing wood-frame construction, unless otherwise noted.

Scope of Work
Work includes renovation and conversion of the existing building into four dwelling units together with associated building systems upgrades, code compliance improvements, and related site work as shown on the contract documents.

Applicable Codes
All work shall comply with the applicable provisions of the 2020 New York State Uniform Fire Prevention and Building Code, including but not limited to the following:

Existing Building Code of New York State
Building Code of New York State
Mechanical Code of New York State
Plumbing Code of New York State
Fuel Gas Code of New York State
Electrical Code of New York State
Energy Conservation Construction Code of New York State
Applicable local requirements of the Town of Lloyd and authorities having jurisdiction
Fire-Resistance and Life-Safety Requirements
Required fire-resistance-rated dwelling unit separations, floor/ceiling assemblies, draftstopping, fireblocking, means of egress components, smoke alarms, carbon monoxide alarms, and related life-safety features shall be provided as indicated in the drawings and as required by applicable code.

Accessibility
Required accessibility improvements, including accessible parking, accessible route, and related site and building features, shall be provided as indicated in the drawings and in accordance with applicable code requirements.

Sprinkler Requirement
Automatic fire sprinkler protection shall be provided where required by the applicable provisions of the code. the sprinkler system shall be designed and installed under separate permit in accordance with the applicable NFPA standard and all requirements of the authority having jurisdiction.

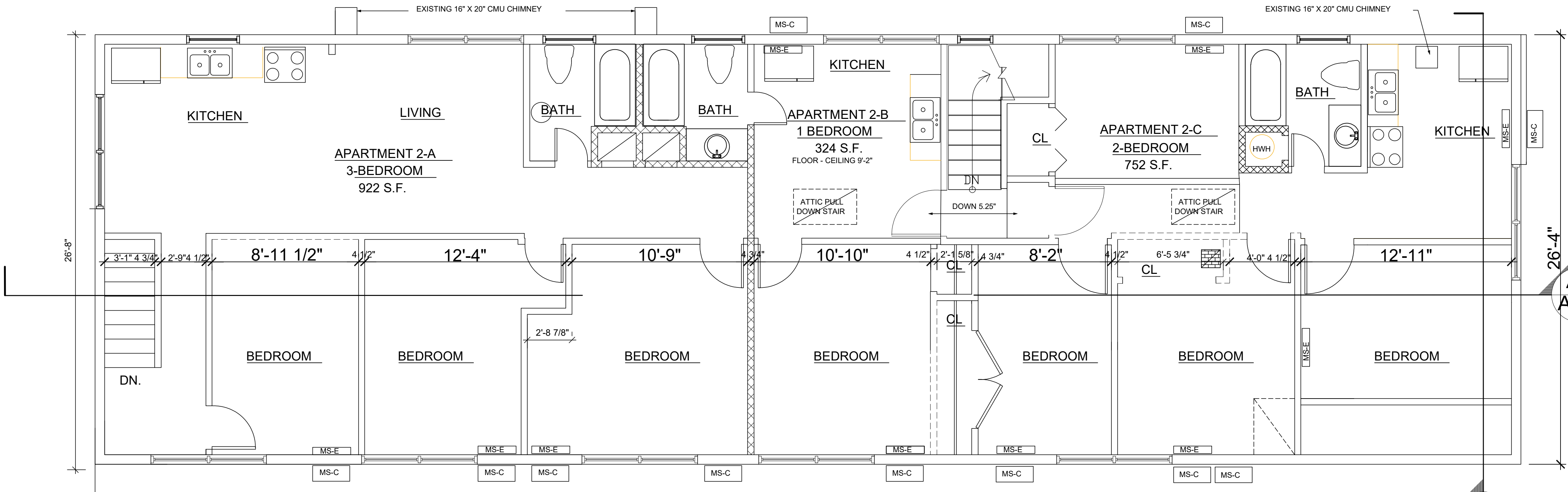
Notes
Contractor shall verify all existing conditions in the field prior to construction. Any discrepancies between field conditions and the contract documents shall be reported to the design professional prior to proceeding with the affected work.

PROJECT

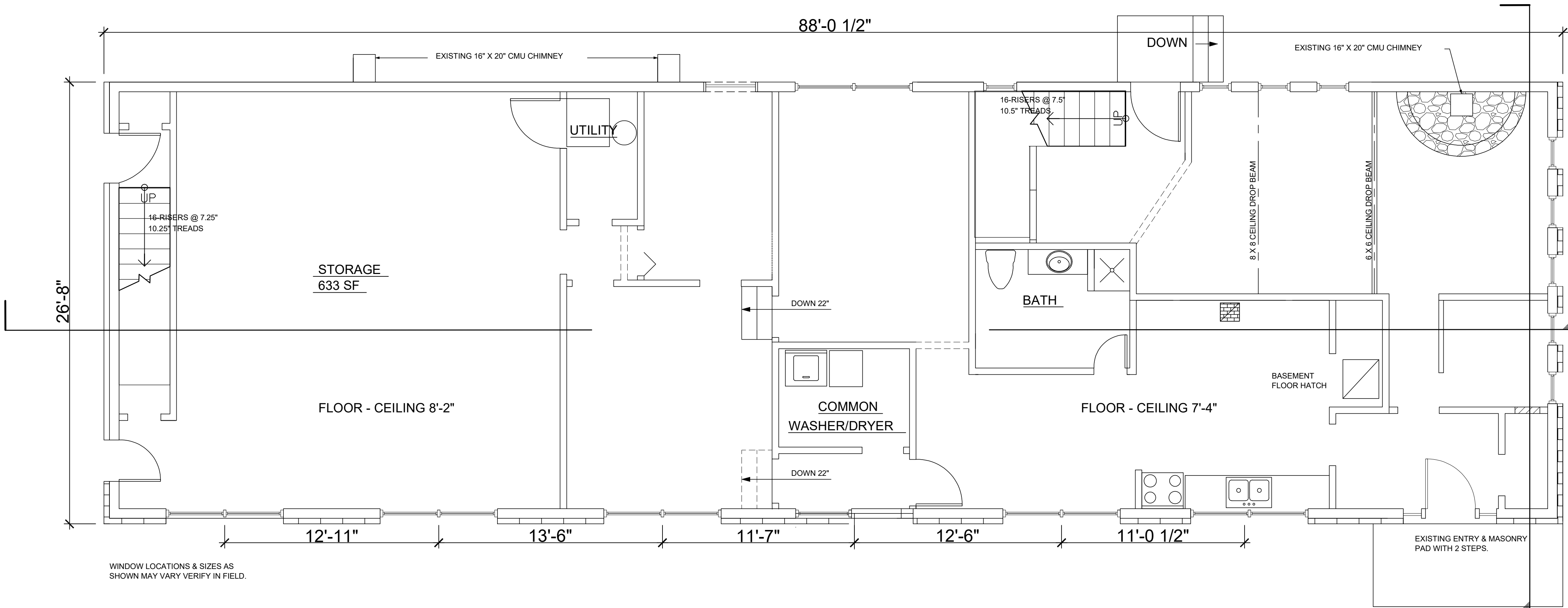
PROPOSED RENOVATIONS FOR
1 Lockhart Ln
TOWN OF LLOYD, ULSTER
COUNTY, NEW YORK 12528

REV	REVISION	DATE

DRAWN BY; MDH
CHECKED BY; RE
DATE; 4/20/26
DRAWING NO.

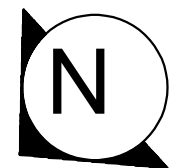
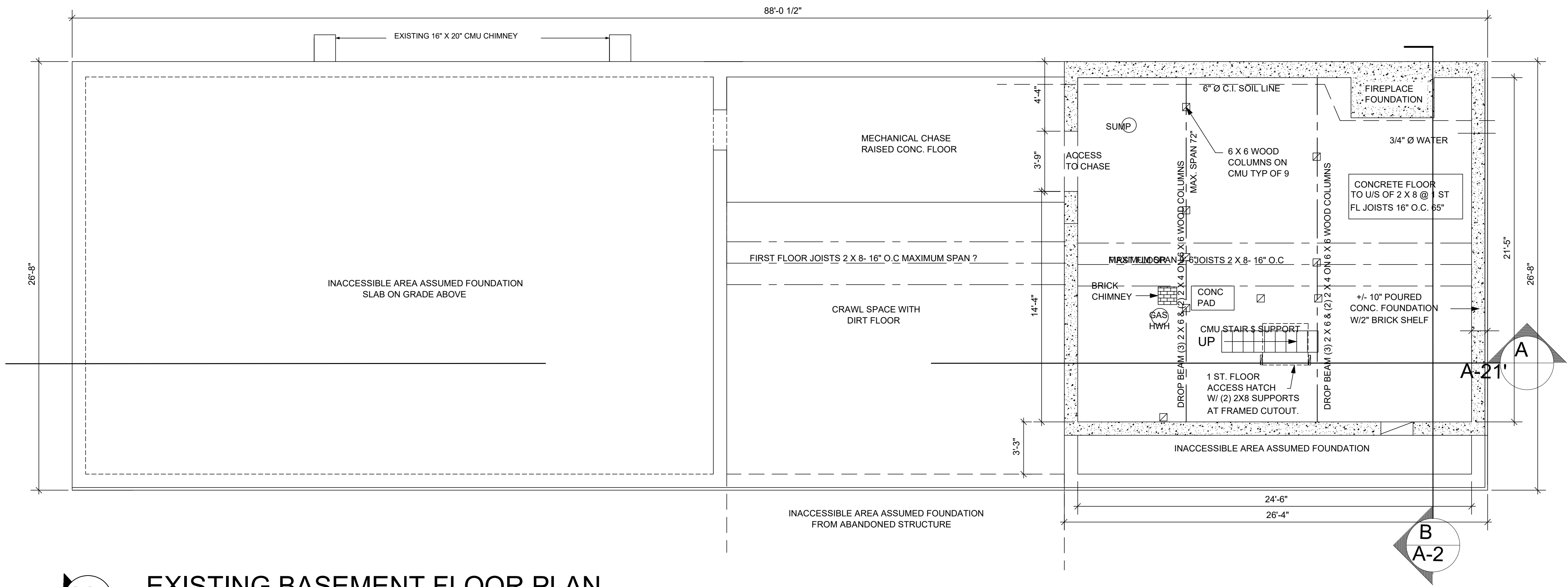


EXISTING SECOND FLOOR PLAN
SCALE 1/4"= 1'-0"



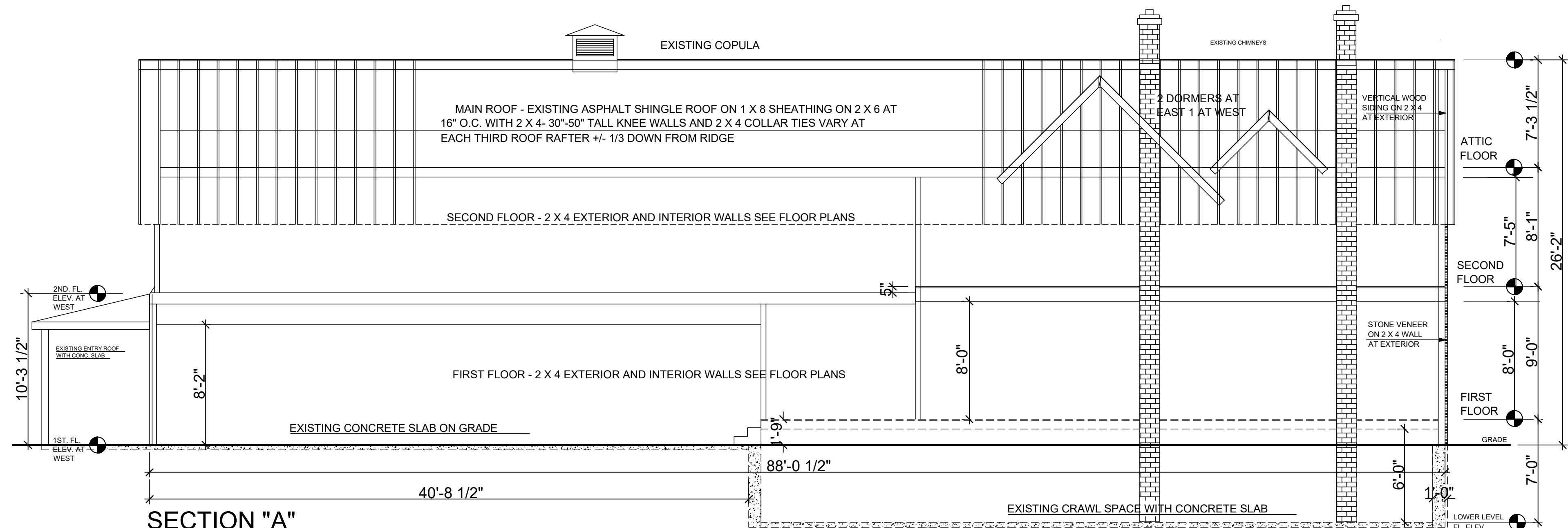
EXISTING FIRST FLOOR PLAN
SCALE 1/4"= 1'-0"

NEW 3'X5' EGRESS COMPLIANT WINDOWS
WITH SILL AT 42" MAXIMUM.



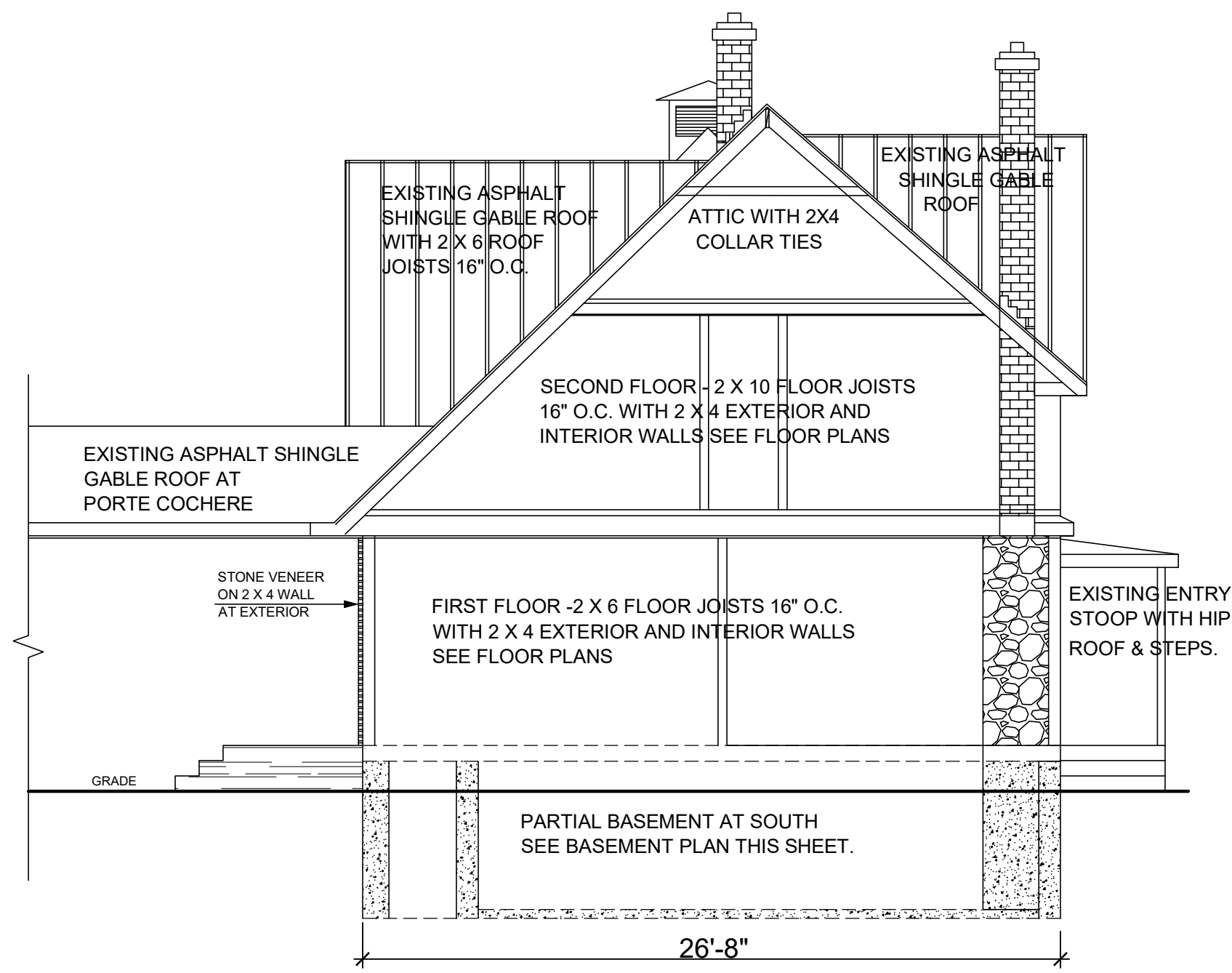
EXISTING BASEMENT FLOOR PLAN

SCALE 1/4"= 1'-0"



SECTION "A"

SCALE 3/16"= 1'-0"



SECTION "B"

SCALE 3/16"= 1'-0"

NOTE:
DO NOT SCALE DRAWINGS - WRITTEN DIMENSIONS TAKE PRECEDENCE. IT IS UNLAWFUL TO MODIFY A DOCUMENT BEARING THE SEAL AND
IN CASE OF DISCREPANCIES OR CONFLICTS, NOTIFY DESIGN PROFESSIONAL, SIGNATURE OF A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER

PROJECT

PROPOSED RENOVATIONS FOR
1 Lockhart Ln
TOWN OF LLOYD, ULSTER
COUNTY, NEW YORK 12528

REV	REVISION	DATE

REVISIONS

DRAWN BY; MDH
CHECKED BY; RE
DATE; 4/20/26
DRAWING NO.

- GENERAL NOTES:
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CODES, RULES AND REGULATIONS OF THE TOWN OF LLOYD AND THE NEW YORK STATE UNIFORM FIRE PREVENTION AND THE EXISTING RESIDENTIAL BUILDING CODE.
 2. ALL NEW CONSTRUCTION, CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION NOT SPECIFICALLY ADDRESSED IN THESE DRAWINGS AND SPECIFICATIONS SHALL COMPLY WITH THE STANDARDS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE. ALL GUIDELINES, THE TOWN OF LLOYD BUILDING DEPARTMENT, THE ULSTER COUNTY HEALTH DEPARTMENT AND THE NEW YORK STATE BOARD OF FIRE UNDERWRITERS.
 3. THE CONTRACTOR IS REQUIRED TO NOTIFY AND APPLY TO VARIOUS REGULATORY AGENCIES FOR THE ISSUANCE OF ALL PERMITS REQUIRED FOR CONSTRUCTION. CONTRACTORS SHALL PROVIDE THE ARCHITECT AND THE OWNER'S AGENT WITH ALL REQUIRED GOVERNMENTAL APPROVALS AND CONFIRM CODE COMPLIANCE. THE BUILDER SHALL ARRANGE FOR ALL INSPECTIONS OF WORK IN PROGRESS AS REQUIRED AND PROVIDE THE FINAL CERTIFICATE OF OCCUPANCY.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL GOVERNMENTAL AND BUILDING DEPARTMENT INSPECTIONS AND CERTIFICATIONS. HE SHALL OBTAIN THE CERTIFICATE OF OCCUPANCY AT THE CONCLUSION OF THE WORK. THE OWNER WILL PAY FOR THE BUILDING PERMIT AND ANY ADDITIONAL PERMITS, FEES, INSPECTIONS, ETC. AS REQUIRED BY THE MUNICIPAL OR OTHER GOVERNMENTAL AUTHORITIES TO OBTAIN THE CERTIFICATE OF OCCUPANCY.
 5. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS MUST BE FULLY INSURED (SUBMIT CERTIFICATES), INCLUDING WORKMEN'S COMPENSATION, IN THE AMOUNTS AND FORM REQUIRED BY THE MUNICIPAL AUTHORITY ISSUING THE BUILDING PERMIT.
 6. ALL WORK WILL BE GUARANTEED FOR A MINIMUM OF 2 YEARS FROM DATE OF ISSUANCE OF CERTIFICATE OF OCCUPANCY BY THE TOWN BUILDING DEPARTMENT.
 7. ALL EQUIPMENT SHALL BE AS WARRANTED BY THE MANUFACTURER. COPIES OF THESE WARRANTIES SHALL BE PROVIDED TO THE OWNERS.
 8. ANY PRICE INCREASE MUST HAVE AN APPROVED CHANGE ORDER FROM THE OWNERS PRIOR TO COMMENCING WORK.
 9. APPROVED EQUAL AS USED IN THESE DRAWINGS SHALL MEAN BY THE OWNERS' ARCHITECT AND BUILDING INSPECTOR.
 10. THE G.C. WILL PREPARE A CONSTRUCTION SCHEDULE FOR THE OWNER'S APPROVAL.
 11. ALL PLUMBING WORK TO COMPLY WITH STATE AND LOCAL CODES AND SHALL BE PERFORMED BY A PLUMBER LICENSED IN THE JURISDICTION OF THE WORK.
 12. ALL ELECTRICAL WORK TO COMPLY WITH THE NATIONAL ELECTRIC CODE, STATE AND LOCAL CODES AND SHALL BE PERFORMED BY AN ELECTRICIAN LICENSED IN THE JURISDICTION OF THE WORK. ALL WIRING SHALL BE COPPER. ELECTRICIAN TO PROVIDE OWNER AND MUNICIPAL AUTHORITY WITH A NYBFC CERTIFICATE AT THE COMPLETION OF THE WORK.
 13. ALL CONTRACTORS ARE TO VISIT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO APPLICABLE CONSTRUCTION.
 14. ALL IDEAS FOR IMPROVING THIS PROJECT ARE WELCOME. DISCUSSION. BUILDER MUST CONTACT ARCHITECT'S OFFICE AND OBTAIN WRITTEN AGREEMENT PRIOR TO DEMOLISHING, IMPLEMENTING, OR PURCHASING FOR ANY CHANGE TO THE PLAN.
 15. CONTRACTORS ARE TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS AND SITE CONDITIONS OR OTHER.
 16. FIELD VERIFY ALL DIMENSIONS AND SIZES FOR PROPER FIT AND INSTALLATION BEFORE ORDERING MATERIALS OR STARTING THE WORK.
 17. PROTECT THE OWNERS PROPERTY FROM ALL DAMAGE RELATED TO CONSTRUCTION ACTIVITIES DURING THE COURSE OF THE WORK. REPLACE AND REPAIR ALL DAMAGED ITEMS WITH EQUAL AND MATCHING MATERIALS AND METHODS AS APPROVED BY OWNER.
 18. PLUMBING NOTES: ALL WASTE, SOIL AND VENT PIPING TO BE SCHEDULE 40 PVC IN ABOVE CAST IRON IN BELOW GRADE LOCATIONS. HW AND CW SUPPLY LINE PIPING TO BE PEXX OR APPROVED EQUAL. PROVIDE SHUTOFF VALVES AND DRAIN VALVES AT ALL LOW POINTS IN SYSTEM. WHEN APPLICABLE, CONTRACTOR TO MODIFY PLUMBING TO COMPLY WITH NEW BATHROOM LAYOUT. THE ENTIRE SYSTEM IS TO BE PRESSURE TESTED AT COMPLETION. PROVIDE SEPARATE SHUT OFF VALVES ON HW AND CW MAINS FOR EACH FIXTURE GROUP. IN MUNICIPALITIES REQUIRING COPPER PIPING, HW AND CW PIPING TO BE COPPER. SOLDER TO HAVE A MAXIMUM LEAD CONTENT OF .005%.
 19. ALL CARPENTRY WORK TO BE INSTALLED STRAIGHT, TRUE, LEVEL, PLUMB AND IN ACCORDANCE WITH GOOD PRACTICE. ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE CCA TREATED WITH A 40% RETENTION GRADE MARK. ALL STRUCTURAL LUMBER SHALL BE 1450F STRESS GRADE MARKED DOUGLAS FIR. ALL PLYWOOD SHALL BEAR THE APA GRADE MARK AND BE DOUGLAS FIR MATERIAL OF THE TYPES SPECIFIED ON THE DRAWINGS.
 20. THE CONTRACTOR IS TO PROVIDE ALL NECESSARY BLOCKING, SHORING AND TEMPORARY SUPPORT WORK TO PROTECT EXISTING STRUCTURE DURING THE CONSTRUCTION PROCESS. NOTIFY THE ARCHITECT OF ANY DEVIATIONS FROM THE PLANS OR DISCREPANCIES IN THE ACTUAL BUILD CONDITIONS AS COMPARED TO THE CONDITIONS ASSUMED OR REPRESENTED ON THE DRAWINGS AS EXISTING CONDITIONS.
 21. UNLESS DESIGNATED OTHERWISE ON THE DRAWINGS ALL OPENINGS SHALL RECEIVE HEADERS AS FOLLOWS:

UP TO 4'-0"	(2) 2x6
4'-0" TO 6'-0"	(2) 2x8
6'-0" TO 8'-0"	(2) 2x10
8'-0" TO 12'-0"	(3) 2x12 OR EXISTING STEEL
 - OPENINGS CREATED BY THE REMOVAL OF BEARING WALLS SHALL BE TREATED AS ABOVE. FIELD VERIFICATION OF ALL STRUCTURAL WORK SHOULD BE ACCOMPLISHED BY A LICENSED PROFESSIONAL PRIOR TO CLOSURE OF WALLS.
 23. DRAWINGS MAY BE SCALED FOR APPROXIMATE PLANNING PURPOSES ONLY. USE NOTES AND DIMENSIONS SPECIFIED ON PLANS, SECTIONS, AND ELEVATIONS DURING THE CONSTRUCTION WHEN PROVIDED. DISCREPANCIES, OMISSIONS OR UNFORESEEN PROBLEMS DISCOVERED WITH PLANS OR AT SITE SHALL BE REPORTED TO THE ARCHITECT FOR IMMEDIATE CONSULTATION AND CLARIFICATION OR AMENDMENT AS APPLICABLE.
 24. CONTRACTORS ARE TO COORDINATE LOCATIONS OF PIPING, DUCT WORK, STRUCTURAL FRAMING, AND ALL OTHER SYSTEMS THROUGHOUT TO DETERMINE SPACE REQUIREMENTS FOR EACH SYSTEM AND TRADE.
 25. CONTRACTOR TO BE RESPONSIBLE FOR THE USE OF SAFE WORKING PROCEDURES ON THE SITE, INCLUDING EYE PROTECTION, HARD HAT, USE ELECTRICAL GROUNDING, TEMPORARY STAIR AND RAILINGS, SAFETY ROPES FOR ROOF CONSTRUCTION ETC. WHEN APPLICABLE.
 26. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY AND SAFE CONDITION BY CONTRACTOR.
 27. CONTRACTOR TO BE RESPONSIBLE FOR PROVIDING SECURITY PROCEDURES FOR THE CONSTRUCTION SITE INCLUDING TEMPORARY SECURITY.
 28. CONTRACTOR SHALL VERIFY ROUGH OPENING AND MASONRY OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS AT SITE PRIOR TO ORDERING.
 29. CONTRACTOR WILL CONFER WITH ARCHITECT OR OWNERS TO PROVIDE ALL REQUIRED CATS IN FRAMING TO SUPPORT AND INSTALL TOWEL BARS, LIGHTS, MEDICINE CABINETS, T.P. HOLDERS, GRAB BARS, ETC. SUPPLIED BY OWNERS. BLOCKING IN THE WALL SHALL BE PROVIDED FOR ALL WALL MOUNTED ITEMS AND AT ALL OTHER LOCATIONS WHERE STABILITY IS A FACTOR. COORDINATE BLOCKING WITH PLAN ELEMENTS AND OWNERS.

PROJECT

PROPOSED RENOVATIONS FOR

1 Lockhart Ln
TOWN OF LLOYD, ULSTER
COUNTY, NEW YORK 12528

REV	REVISION	DATE

REVISIONS

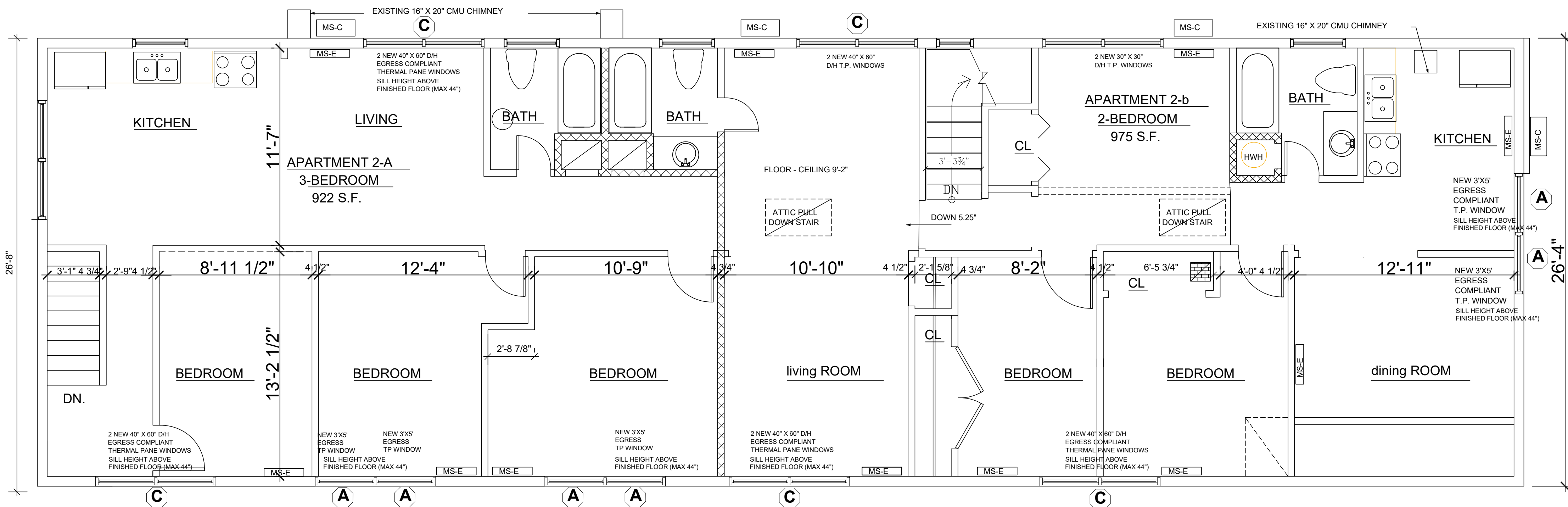
DRAWN BY; MDH

CHECKED BY; RE

DATE; 4/20/26

DRAWING NO.

A-3



PROPOSED SECOND FLOOR PLAN
SCALE 1/4"= 1'-0"

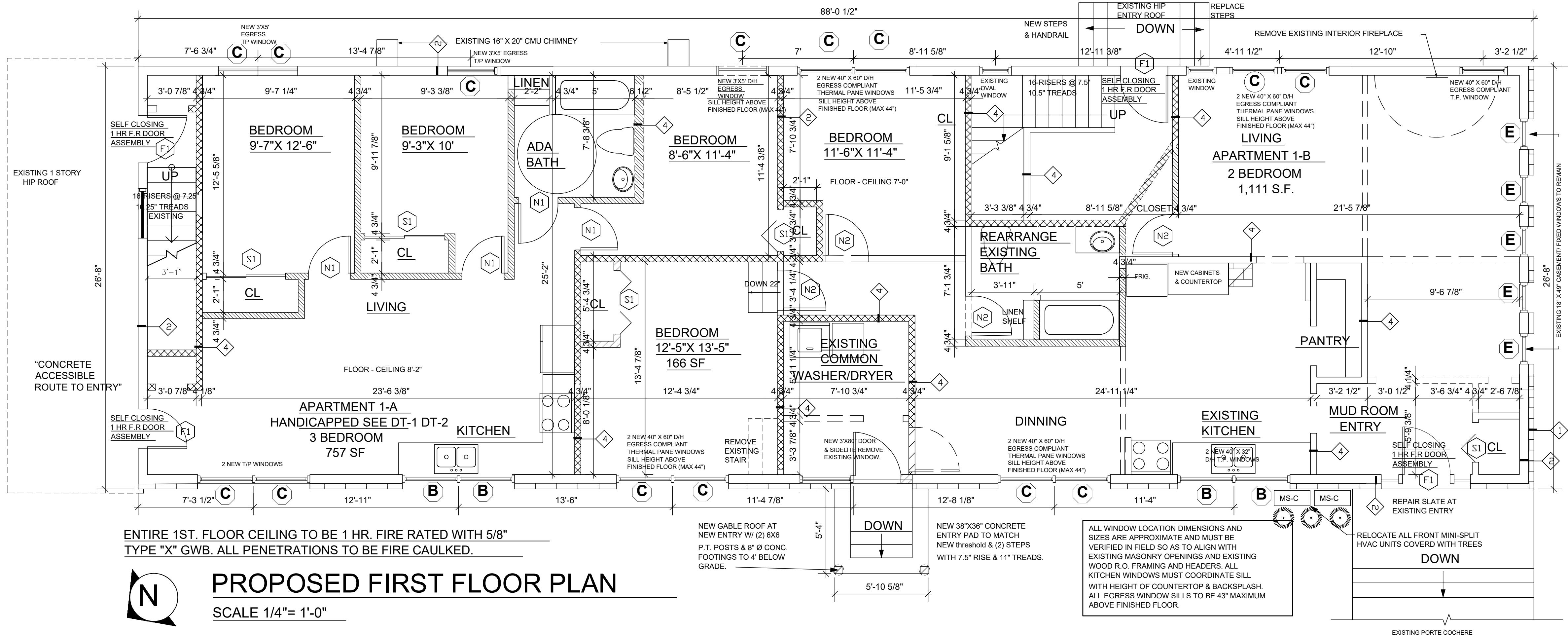
- WINDOW LEGEND**
- A EGRESS & ENERGY COMPLIANT 3'-0" X 5'-0" VINYL THERMOPANE D/H JELD WEN - JW# BLVDH3672
 - B NEW 40"X32" THERMOPANE DH VINYL WINDOW.
 - C EGRESS & ENERGY COMPLIANT 40" X 60" VINYL THERMOPANE D/H JELD WEN - JW# BLVDH4060
 - D NEW 36" X 36" THERMOPANE SLIDING VINYL EGRESS AND ENERGY COMPLIANT JELD WEN PRVSL23636
 - E EXISTING 18" X 48" THERMOPANE CASEMENT / FIXED WINDOWS TO REMAIN.

- DOOR LEGEND**
- E EXISTING DOOR & FRAME
 - N1 NEW 3'-0" X 6'-8" H.C. WOOD DOOR AND FRAME.
 - N2 NEW 2'-8" X 6'-8" H.C. WOOD DOOR AND FRAME.
 - N3 NEW 2'-6" X 6'-8" H.C. DOOR & FRAME
 - F1 NEW 1 HR. FIRE RATED 3'-0"x6'-8" SELF CLOSING DOOR ASSEMBLY
 - S1 NEW VARIES X 6'-8" BI FOLD OR SLIDER WOOD DOORS.

- WALL TYPE LEGEND***
- 1 EXISTING STONE VENEER @ EXTERIOR WALLS.
 - 2 EXISTING 2X4 STUD WALLS.
 - 3 NEW 2X4 STUD & .5" GWB EACH SIDE OR 5/8" TYPE "X" AT FIRE SEPARATION WALLS
 - 4 EXISTING/ NEW 2X4 STUD & NEW 5/8" TYPE "X" FIRECODE GWB -1 HOUR RATED.
 - 5 EXISTING 2X4 WOOD STUD & GWB TO BE REMOVED.

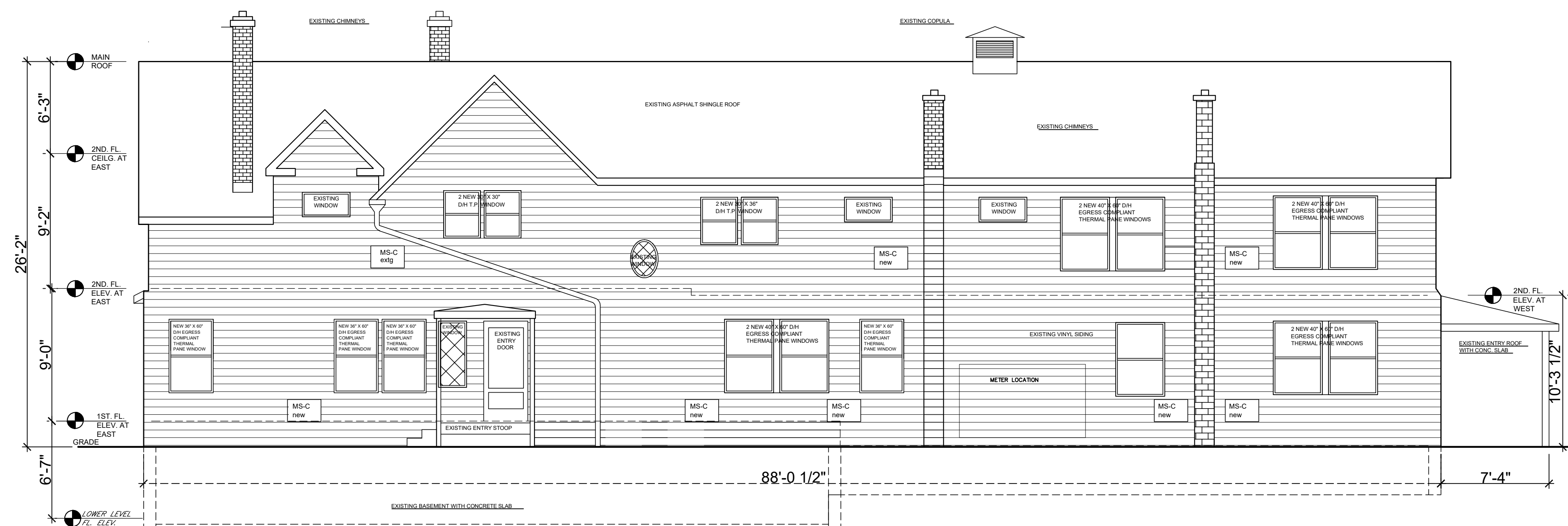
*FOR ALL WALL TYPES WHERE SHEETROCK IS SPECIFIED AS PART OF WALL CONSTRUCTION STATED ABOVE, TO USE MR "GREEBOARD" TYPE ON SIDE(S) IN WET OR MOIST ENVIRONMENTS - TYP.

ALL EXTERIOR FRONT MINI-SPLIT CONDENSING UNITS SHALL BE LOCATED AS SHOWN ON THE ARCHITECTURAL ELEVATIONS AND SCREENED FROM PUBLIC VIEW AND ADJACENT PROPERTIES BY A COMBINATION OF ARCHITECTURAL SCREENING AND/OR EVERGREEN LANDSCAPING. PROVIDE PAINTED WOOD SLAT SCREENING ENCLOSURE, APPROXIMATELY 4'-0" HIGH, OR APPROVED EQUAL, TO VISUALLY SCREEN EQUIPMENT WHILE MAINTAINING ALL MANUFACTURER-REQUIRED CLEARANCES FOR AIRFLOW, SERVICE ACCESS, AND DRAINAGE. SCREENING MATERIALS AND FINISH SHALL BE COMPATIBLE WITH ADJACENT BUILDING MATERIALS AND TRIM. COORDINATE FINAL CONDENSER LOCATION AND REQUIRED CLEARANCES WITH MANUFACTURER INSTALLATION REQUIREMENTS AND MECHANICAL DRAWINGS.



ENTIRE 1ST. FLOOR CEILING TO BE 1 HR. FIRE RATED WITH 5/8" TYPE "X" GWB. ALL PENETRATIONS TO BE FIRE CAULKED.

PROPOSED FIRST FLOOR PLAN
SCALE 1/4"= 1'-0"



EAST ELEVATION - PROPOSED

SCALE 3/16"= 1'-0"

Existing exterior materials

painted horizontal lap siding,

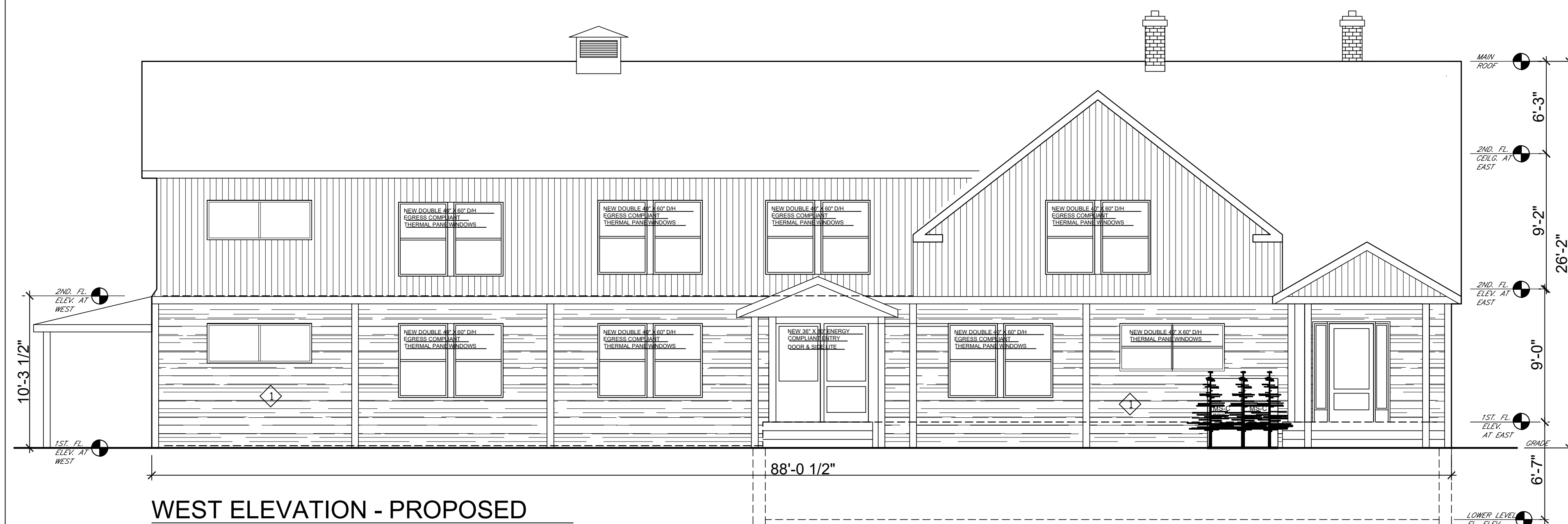
vertical wood cladding at gable ends,

stone veneer wainscot/base, painted trim,

asphalt shingle roofing,

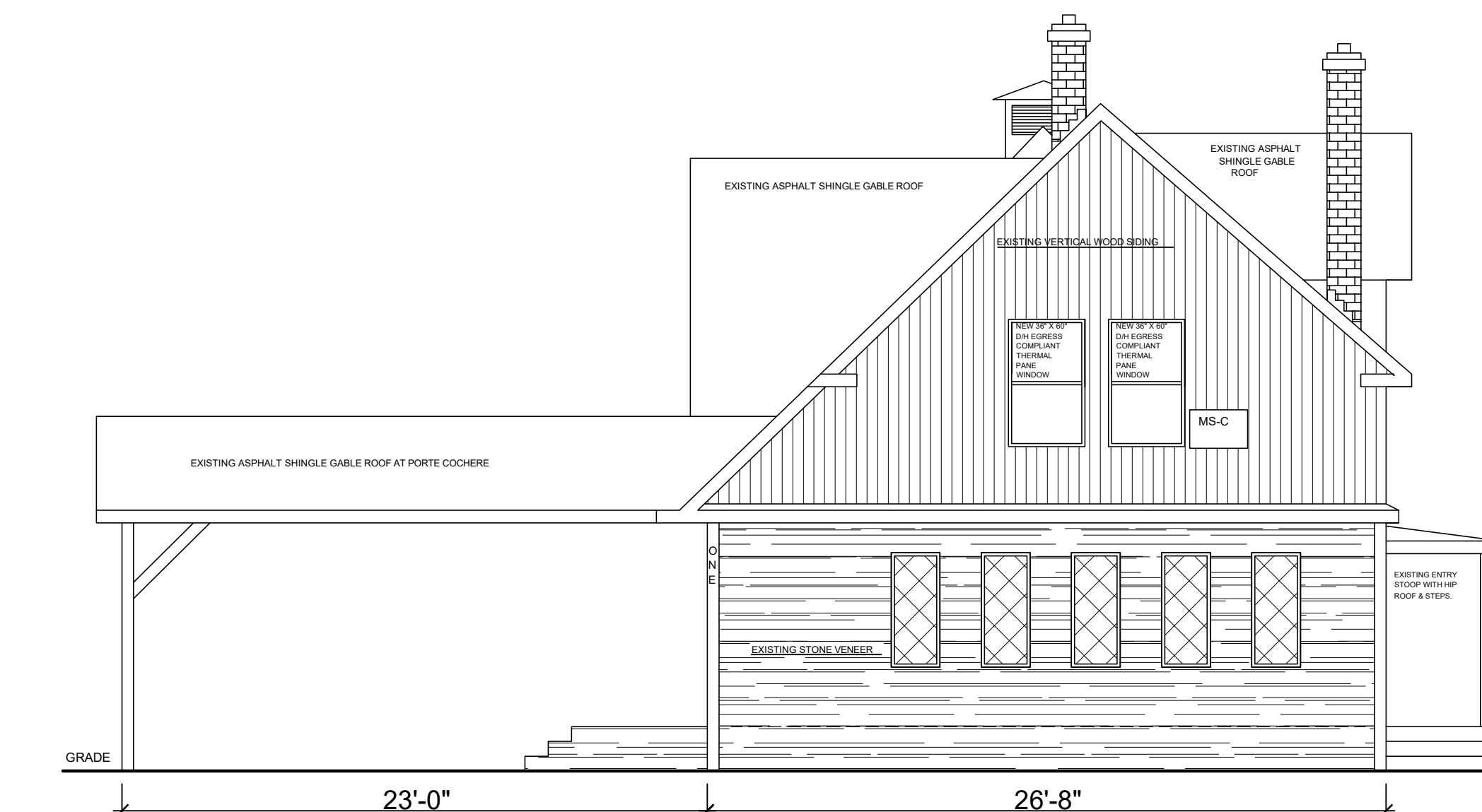
brick chimneys,

EXTERIOR MINI-SPLIT CONDENSING UNITS SHALL BE SCREENED FROM VIEW BY ARCHITECTURAL SCREENING AND/OR LANDSCAPE PLANTING. PROVIDE SCREENING COMPATIBLE WITH BUILDING DESIGN AND MAINTAIN REQUIRED MANUFACTURER CLEARANCES.



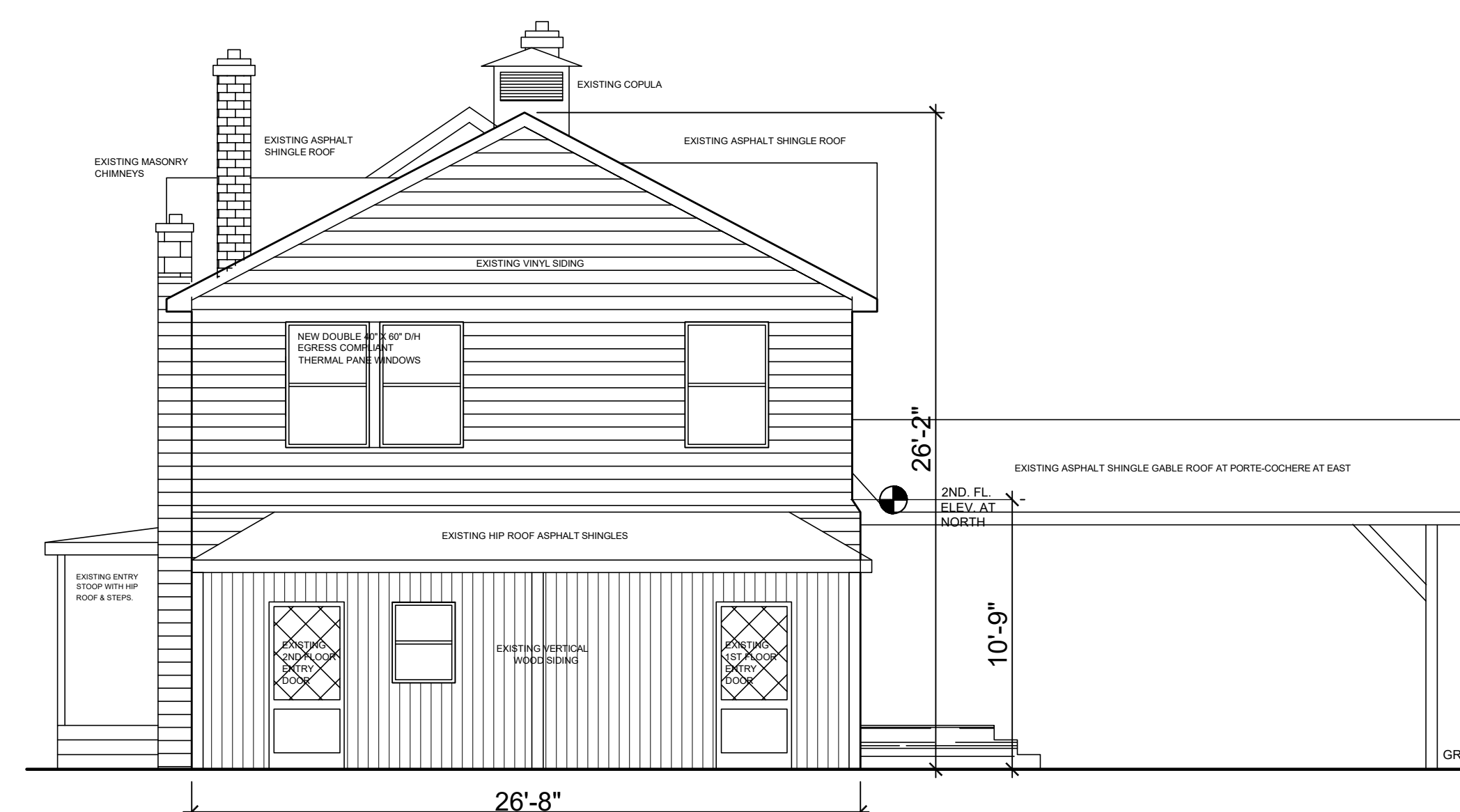
WEST ELEVATION - PROPOSED

SCALE 3/16"= 1'-0"



SOUTH ELEVATION - PROPOSED

SCALE 3/16"= 1'-0"



NORTH ELEVATION - PROPOSED

SCALE 3/16"= 1'-0"

PROJECT

PROPOSED RENOVATIONS FOR

1 Lockhart Ln

TOWN OF LLOYD, ULSTER
COUNTY, NEW YORK 12528

REV	REVISION	DATE

REVISIONS

DRAWN BY; MDH

CHECKED BY; RE

DATE; 4/20/26

DRAWING NO.

A-4

NOTE:
DO NOT SCALE DRAWINGS - WRITTEN DIMENSIONS TAKE PRECEDENCE. IT IS UNLAWFUL TO MODIFY A DOCUMENT BEARING THE SEAL AND
IN CASE OF DISCREPANCIES OR CONFLICTS, NOTIFY DESIGN PROFESSIONAL. SIGNATURE OF A REGISTERED ARCHITECT OR PROFESSIONAL ENGINEER

GENERAL NOTES - ELECTRICAL & HVAC :

1. All work to be done by licensed electrical contractors under filed permits in accordance with New York State and local electrical and
2. Work includes all preliminary preparation work including drilling & cutting in providing for wiring runs. The flush mounting of switches, outlets, wall mounted lighting fixture boxes, circuit breaker main and sub panels and ceiling fixture boxes and all associated wiring. building codes.
3. All contractors Shall furnish the owner with certificates of Workmen's Comp. compliance, insurance and assurance bonding.
4. See specifications for fixture, cover, outlet and switch types.
5. All basement, exterior, stairway & common space lighting fixtures & outlets to be on owners meter. all tenant c/b panel boxes to be located in tenants space in closets.
6. See specifications for HVAC-GROUND UNITS and associated interior units. All indoor evaporator units to have a hardwired thermostat, Honeywell 1 Week Programmable Thermostat Model# RTH221B or approved equal.
7. Combination Smoke and carbon oxide detectors at each apartment and directly outside all to be hardwired with battery backup.
8. SUPPLY & INSTALL :
1 wall switched (at entry door) ceiling light fixture at all rooms.
GFCI outlets at all baths and kitchens.
15 A- duplex outlets as per code at entire project.
1 doorbell at each unit.
catv cable & internet outlets & wiring at all 5 units to main feedbox in basement & coordinate with cable company.
Supply power to 5 hot water heaters & all hvac units on tenants power.
9. Contractor to visit site to identify existing conditions prior to bidding.
10. Note project consists of existing outlets, switches and wiring which is to be redistributed to new individual tenants panels.
11. See site/ plot plan P-1 for site lighting to be provided.

ELECTRICAL LEGEND

- 30 GAL HOT WATER HEATER W/ DRIP PAN
- \$ SPST 120 V. 15 A. WALL SWITCH. / 3=3WAY
- 120 V. 15 A. DUPLEX WALL OUTLET.
- 120 V. 20 A. DUPLEX WALL OUTLET.
- 120 V. 15 A. SWITCHED CEILING FIXTURE BOXED FEED.
- 208 V 40 A. RANGE OUTLET
- 120 V. 20 A. GFCI OUTLET W/ARC FAULT C.B.*
- 120 V. 15 A. WALL FIXTURE BOXED FEED.**
- 0-OUTDOOR FIXTURE
- 120 V. 15 A. CEILING EXHAUST FAN CONNECTED TO OUTSIDE AIR, SEE NOTES.
- HVAC POWER & INTERCONNECTION TO INDOOR UNIT, SEE HVAC NOTES ON SHEET H-1.
- HARDWIRED SMOKE & CO DETECTOR, SEE NOTES.
- APARTMENT CIRCUIT BREAKER PANEL BOX, SEE NOTES. LOCATIONS TBD.
- ALL KITCHEN STOVES TO HAVE A BOXED FEED FOR A HOOD FAN & LIGHT.
- * 1-QUAD 120V 20 A GFCI OUTLET ON A DEDICATED CIRCUIT OR FIRST OUTLET ON RUN WITH ARC FAULT C.B. AT EACH KITCHEN COUNTER TOP LOCATION ALL COUNTERTOP OUTLETS TO BE ON A GFCI CIRCUIT.
- ** ALL STAIRWAY, BASEMENT, OWNERS HVAC AND EXTERIOR LIGHT FIXTURES TO BE ON OWNERS METER. SEE PLOT PLAN P-1 FOR OUTSIDE LIGHTING.

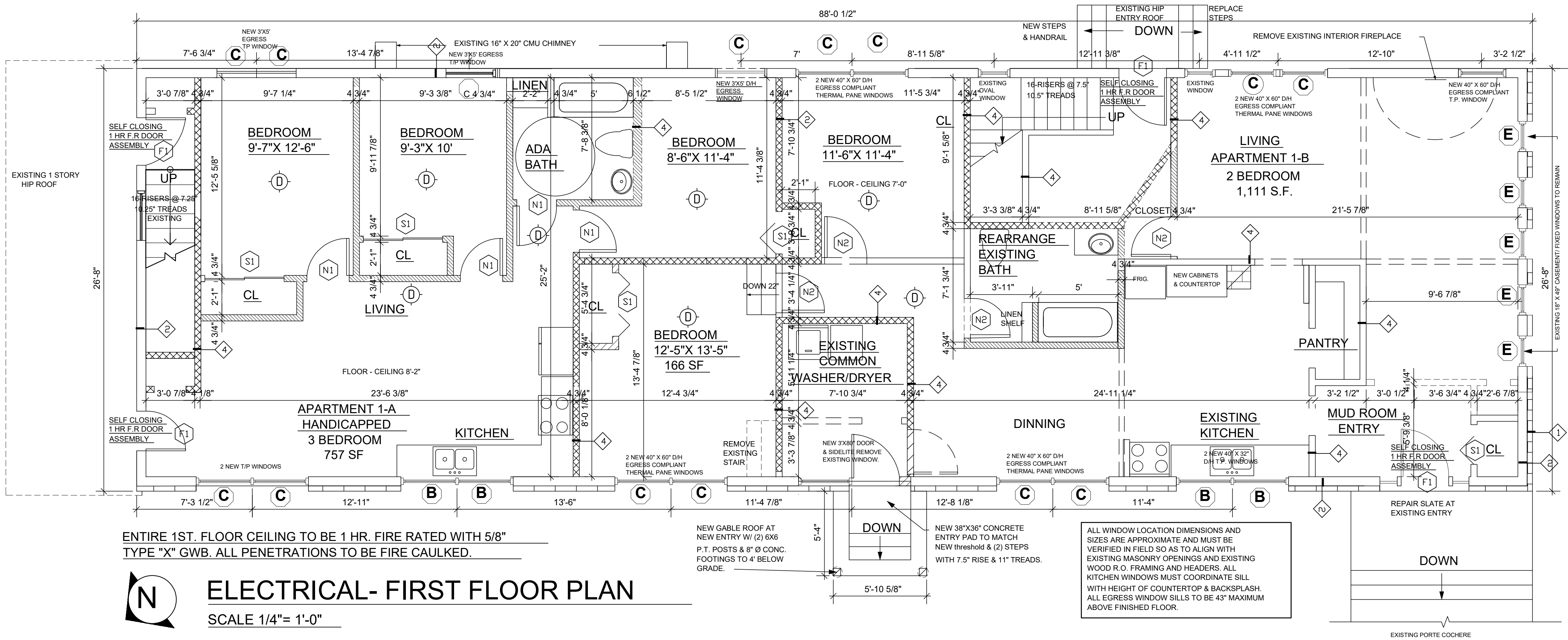
PROJECT

PROPOSED RENOVATIONS FOR
1 Lockhart Ln
TOWN OF LLOYD, ULSTER
COUNTY, NEW YORK 12528

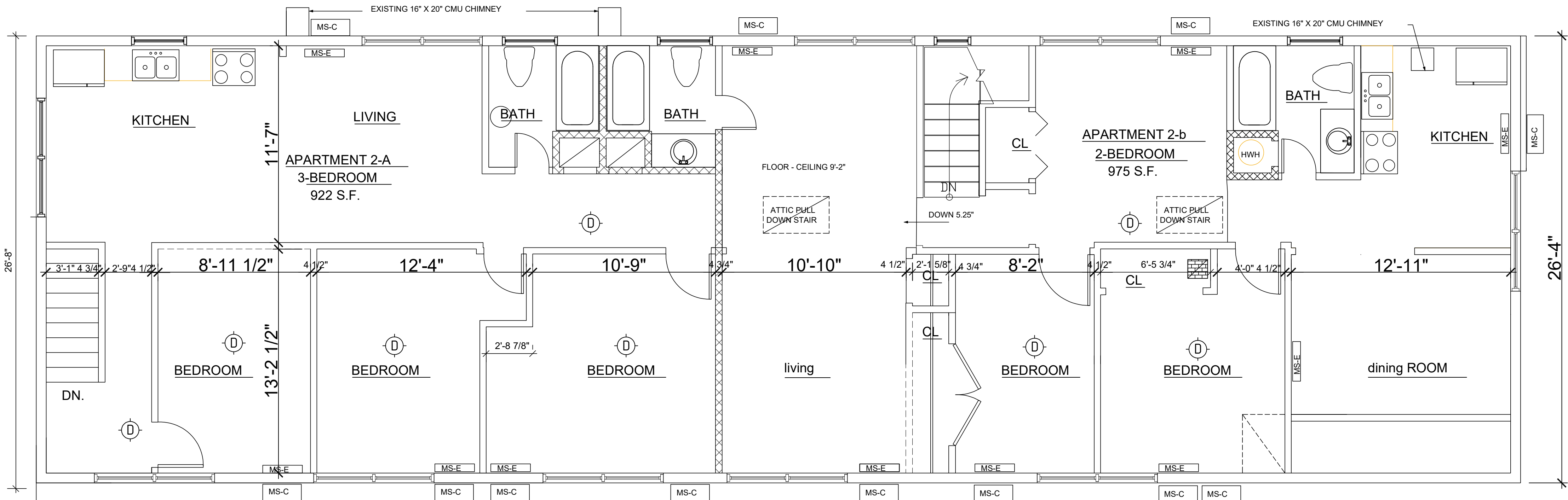
REV	REVISION	DATE

REVISIONS

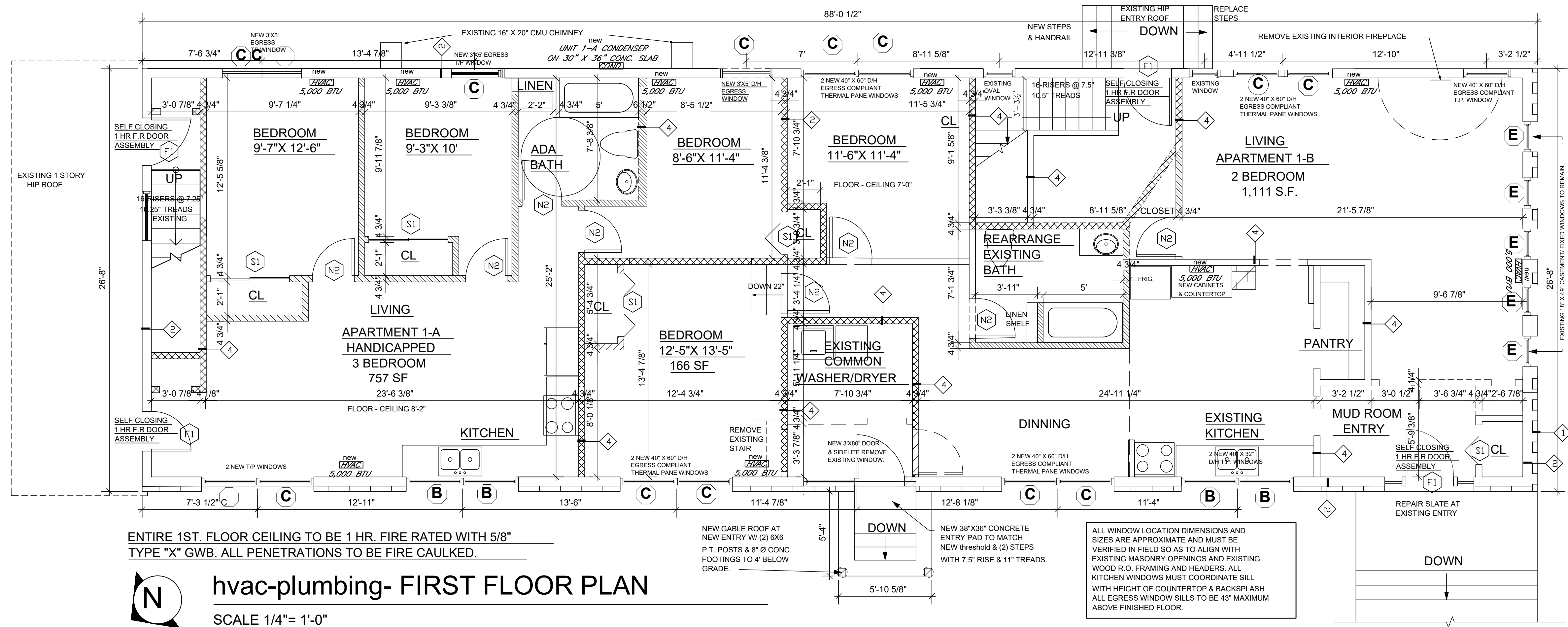
DRAWN BY; MDH
CHECKED BY; RE
DATE; 4/20/26
DRAWING NO.



ELECTRICAL- FIRST FLOOR PLAN
SCALE 1/4"= 1'-0"



ELECTRICAL- SECOND FLOOR PLAN
SCALE 1/4"= 1'-0"



HVAC- PLUMBING SCOPE:

ALL PLUMBING TO BE DONE UNDER PERMIT BY TOWN OF LLOYD APPROVED LICENSED PLUMBING CONTRACTOR AND INSPECTED BY LOCAL MUNICIPAL PLUMBING INSPECTOR.
PROVIDE ALL MATERIAL, LABOR & PERMIT COST TO INSTALL;
HVAC: BOTH 1 ST FL. APARTMENTS TO HAVE 4 MINI SPLIT UNITS AS SHOWN ON PLANS.
ALL UNITS TO BE FED FROM TENANTS CIRCUIT BREAKER BOX IN EACH APARTMENT. PROVIDE ALL COMMON HALLWAY, BASEMENT, LAUNDRY ROOM AND OUTDOOR LIGHTING CONNECTED TO OWNERS METER. 5 UNITS TOTAL.

PLUMBING: ONE APARTMENT UNIT TO HAVE NEW BATHROOM & 2 1ST FL. UNITS TO HAVE NEW KITCHEN SINK FIXTURE WITH NEW SUPPLIES AND DRAINS CONNECTED WHERE POSSIBLE TO EXISTING LINE AND VENTS.

1-NEW KITCHEN: TO HAVE A STAINLESS STEEL DOUBLE BASIN SINK & A SINGLE LEVER FAUCET SET. PROVIDE SUPPLY & DRAIN FOR DISHWASHER. PROVIDE SELF VENTING. (4 NEW APARTMENTS TOTAL).

BATHROOMS: 1 UNIT TO HAVE NEW - WATER CLOSET, TUB & VANITY CABINET MOUNTED SINK WITH SINGLE LEVER FAUCET SETS. ALL FIXTURES TO INCLUDE SUPPLY & DRAIN CONNECTIONS TO EXISTING MAINS WHERE POSSIBLE. ALL FIXTURES TO BE PROPERLY VENTED.

ELECTRIC HOT WATER HEATERS: EACH APARTMENT TO HAVE 1- 30 GAL. ELECTRIC HW HEATER WITH DRIP PAN & DRAIN LINE CONNECTED TO MAIN DRAIN. PROVIDE AND CONNECT UNITS TO ALL FIXTURES INCLUDING KITCHEN SINK & DISHWASHER AT EACH APARTMENT (5 TOTAL).

HVAC NOTES:

- ALL HVAC OUTSIDE CONDENSER GROUND UNITS TO BE ON RACKS TO BE SUPPORTED ON NEW 4" X 20" X 36" CONCRETE PAD SLAB. CONTRACTOR TO INSTALL ALL GROUND UNITS ON QUICKSLING QSMS 1800 STANDS., WITH ANTI VIBRATION WASHERS, OR APPROVED EQUAL.
- AND 5 CONDENSERS /
- INSTALL 2 EVAPORATORS COMPRESSORS
- AS INDICATED ON H-1 HVAC PLANS IN ACCORDANCE WITH MANUFACTURER'S SPECIFIC INSTRUCTIONS. ALL UNITS TO BE ELECTRICALLY FED FROM TENANTS C/B PANEL BOX IN EACH APARTMENT, OWNERS FROM OWNERS C/B PANEL.
- ALL INDOOR EVAPORATORS TO BE FUJITSU ASU9RLF1. OR APPROVED EQUAL. ALL OUTDOOR COMPRESSORS TO BE FUJITSU AOU18RLXFZH OR APPROVED EQUAL.
- COORDINATE WITH ELECTRICAL CONTRACTOR.
- PROVIDE CONDENSATE DRAIN LINE AS PER MANUFACTURERS REQUIREMENTS TO PLUMBING DRAIN LINE.

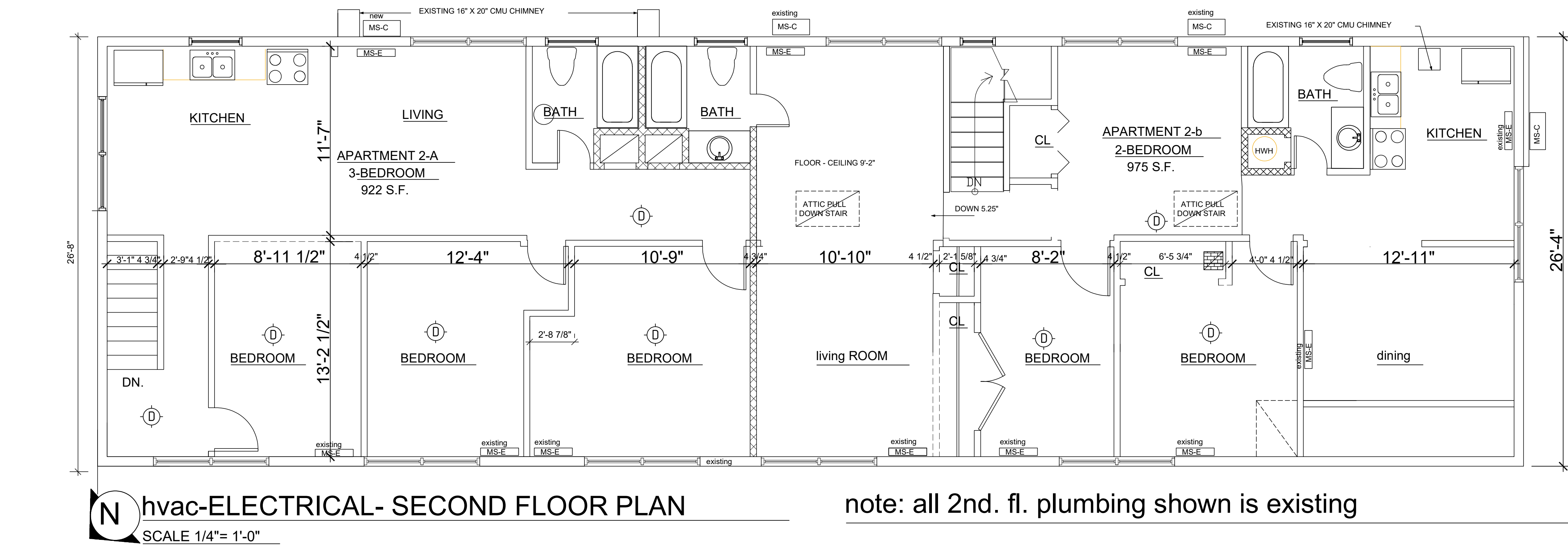
PROJECT

PROPOSED RENOVATIONS FOR
1 Lockhart Ln
TOWN OF LLOYD, ULSTER
COUNTY, NEW YORK 12528

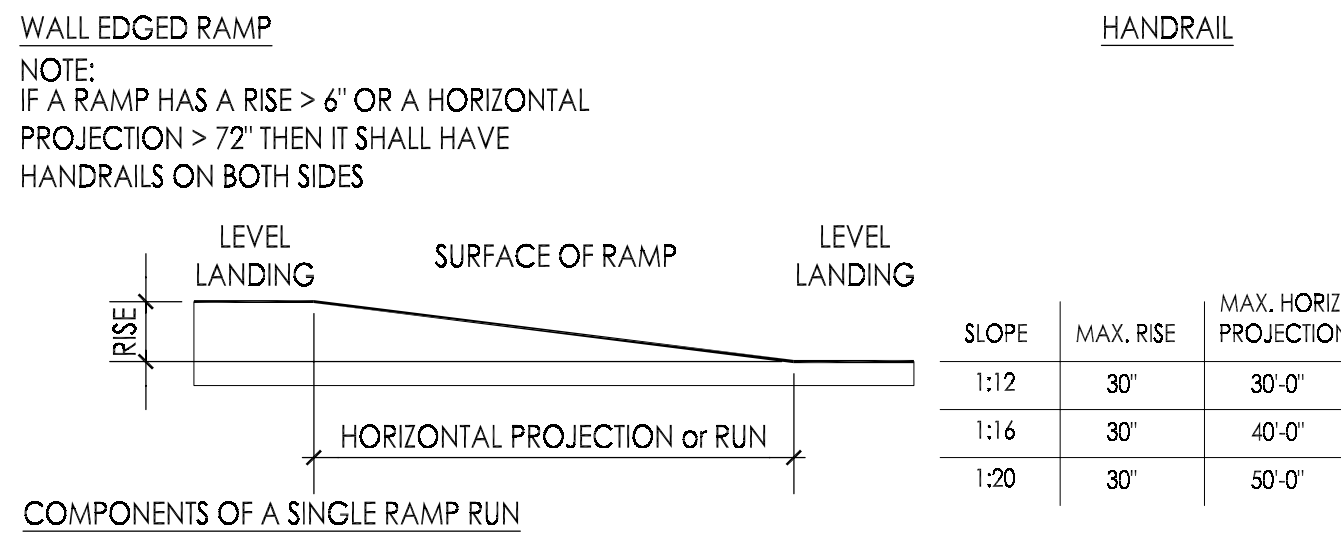
REV	REVISION	DATE

REVISIONS

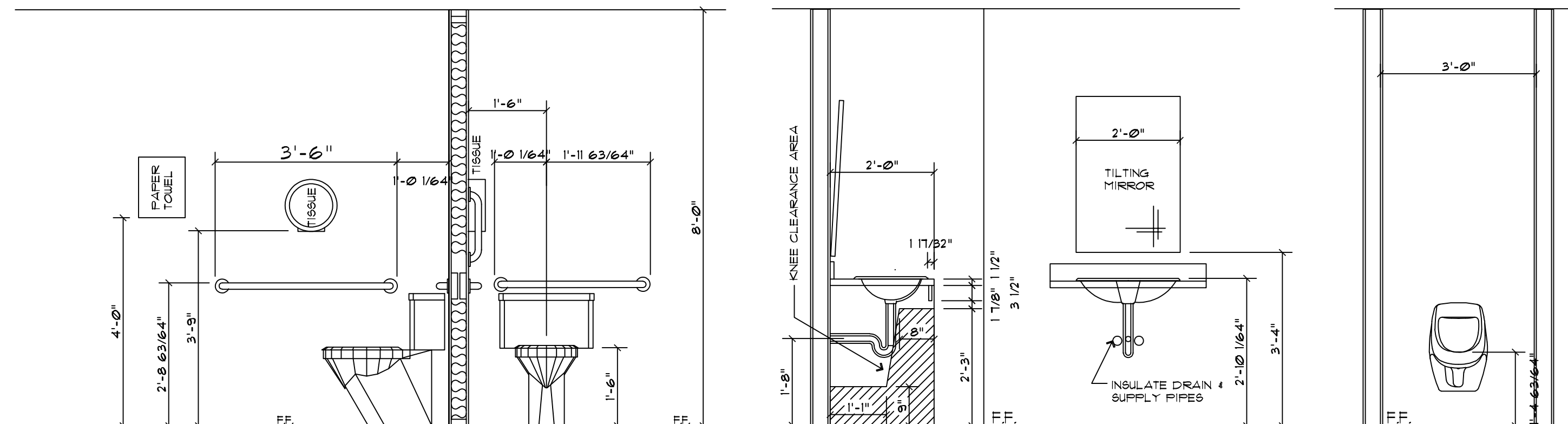
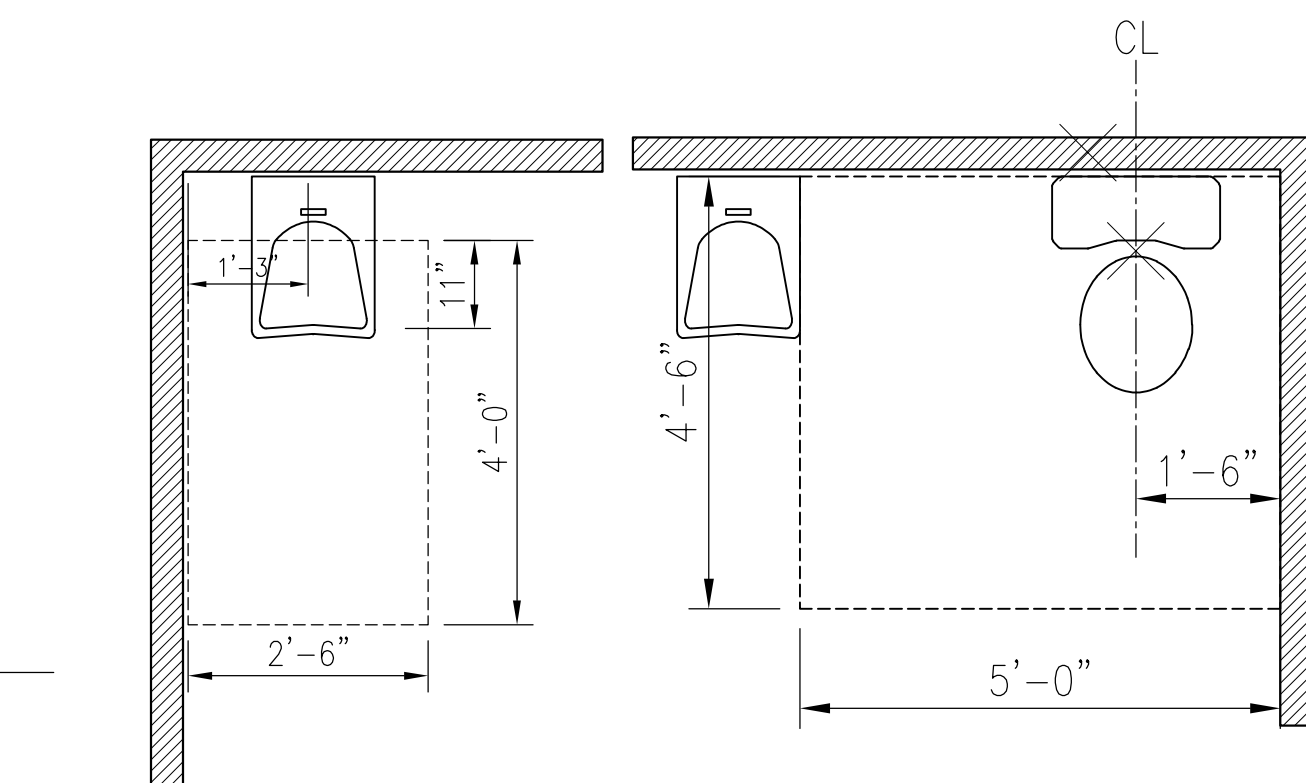
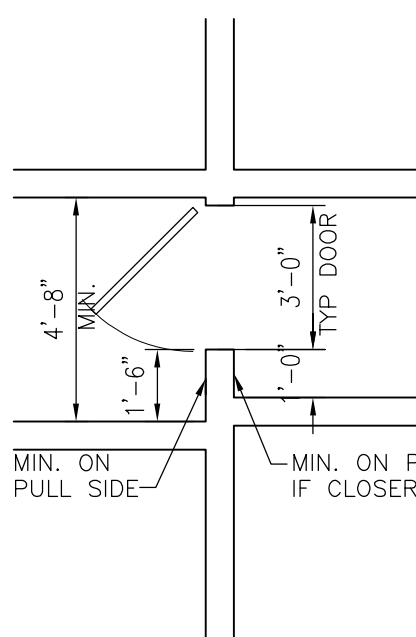
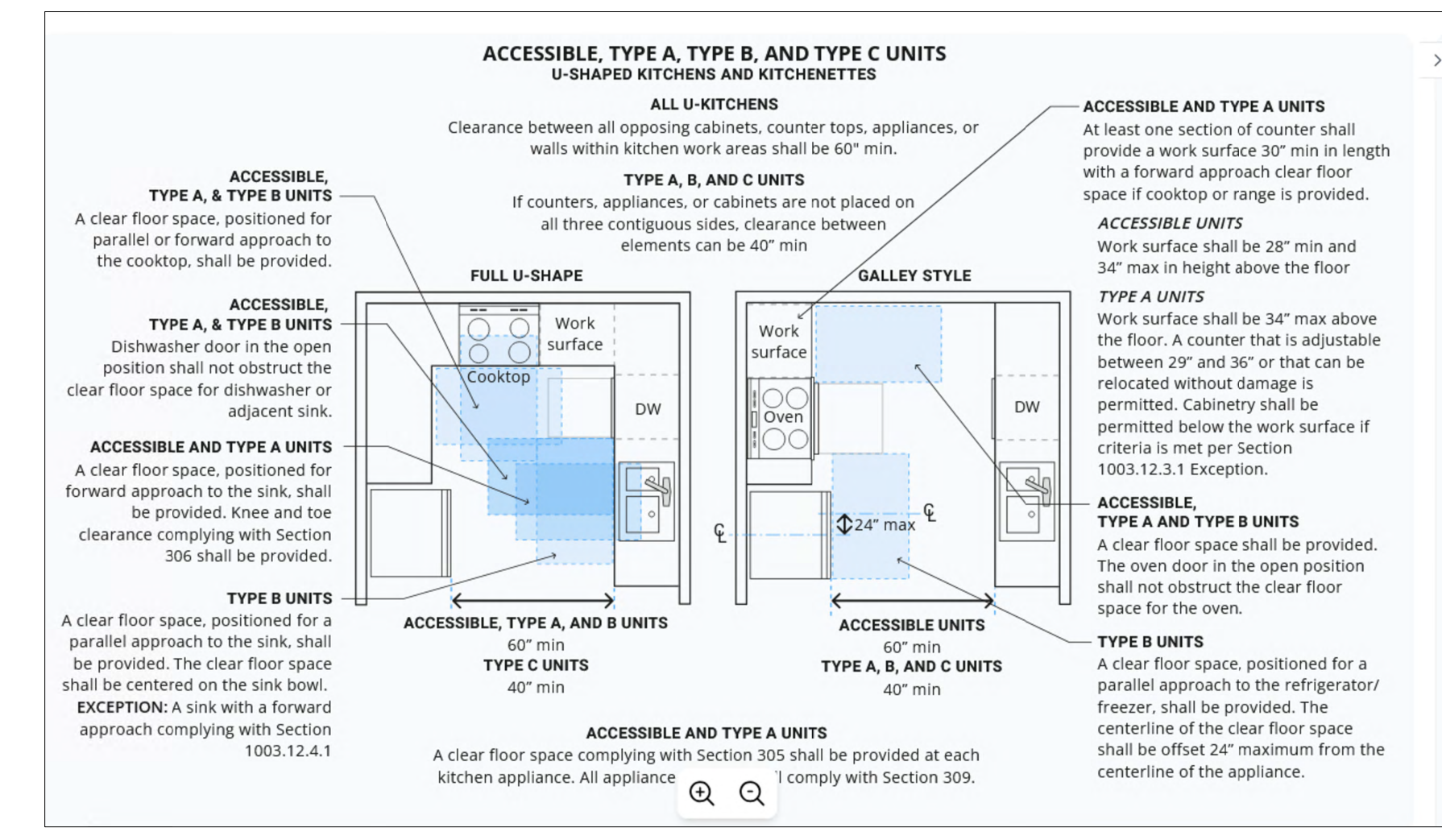
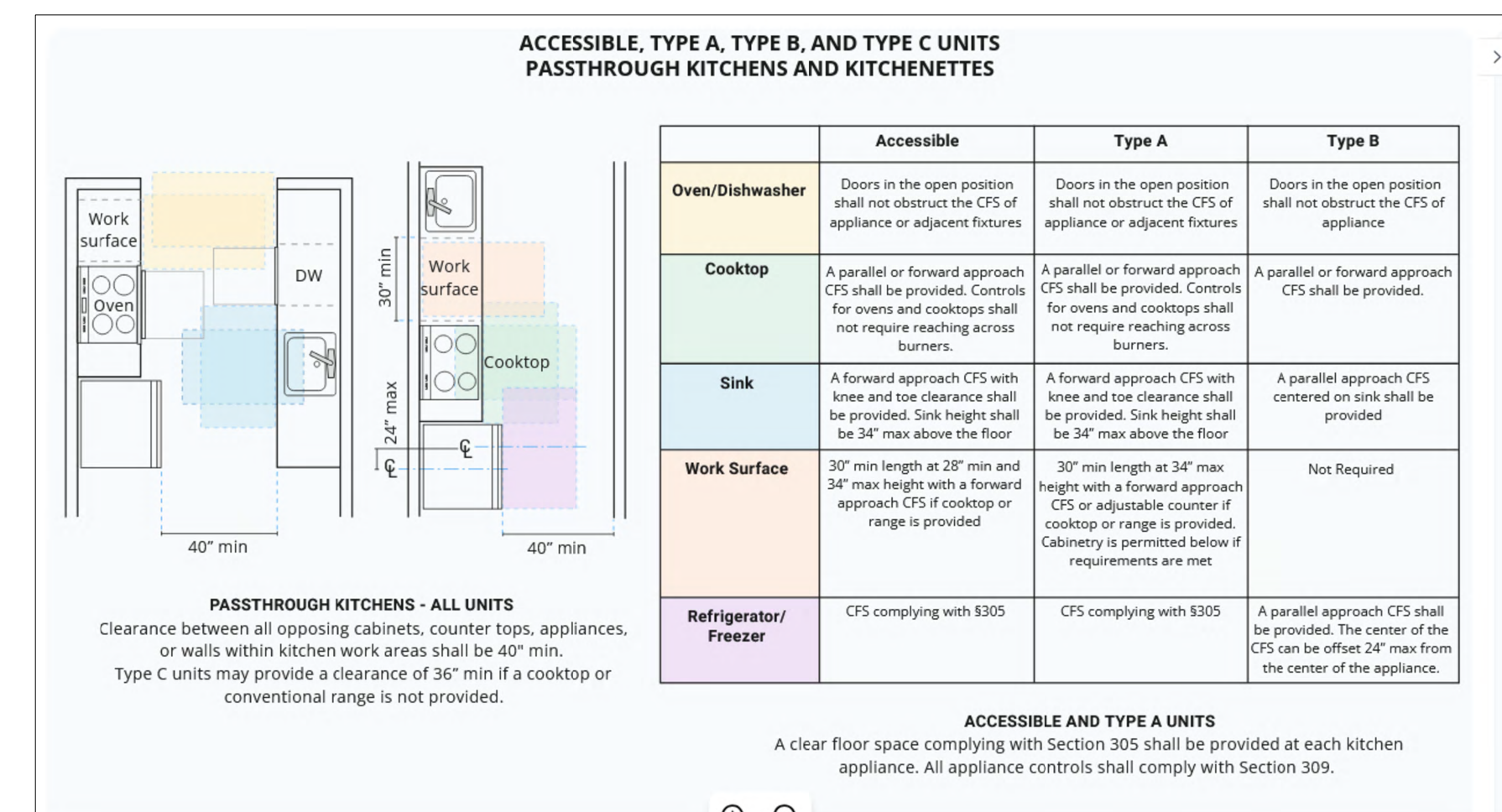
DRAWN BY; MDH
CHECKED BY; RE
DATE; 4/20/26
DRAWING NO.



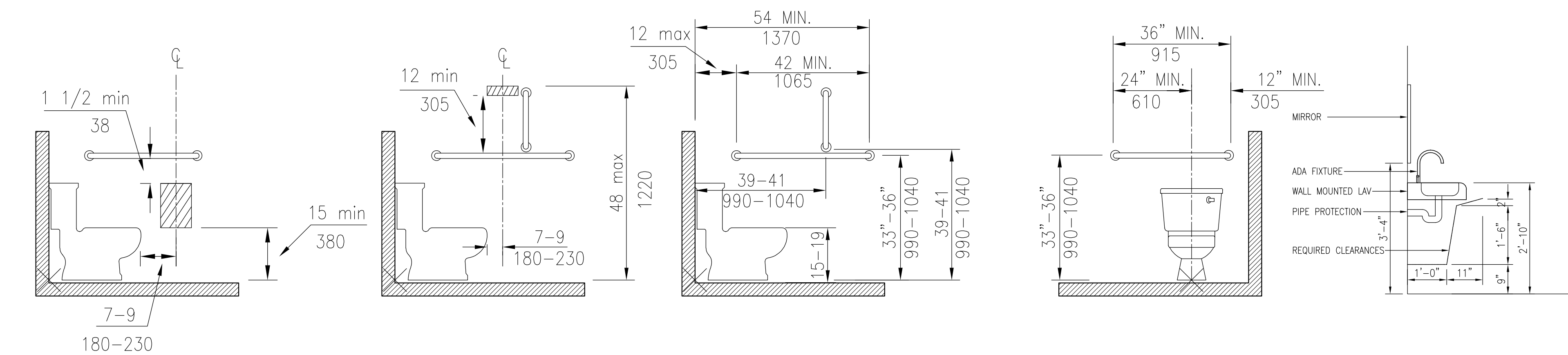
1 STAIR DETAILS
A-12 SCALE: N.T.S.



2 HANDICAP RAMP DETAILS
A-12 SCALE: N.T.S.



3 ICC/ANNSI HANDICAPED DESIGN TYPICAL
A-12 SCALE: 1/2" = 1'-0"



5 ICC/ANNSI HANDICAPED DESIGN TYPICAL
A-12 SCALE: 1/2" = 1'-0"

REV	REVISION	DATE

REVISIONS

TABLE R602.3(1) FASTENING SCHEDULE			
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a,b,c}	SPACING AND LOCATION
ROOF			
1	BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	4-8D BOX (2 1/2" × 0.113"); OR 3-8D COMMON (2 1/2" × 0.131"); OR 3-10D BOX (3" × 0.128"); OR 3-3" × 0.131" NAILS	TOE NAIL
2	CEILING JOISTS TO TOP PLATE	4-8D BOX (2 1/2" × 0.113"); OR 3-8D COMMON (2 1/2" × 0.131"); OR 3-10D BOX (3" × 0.128"); OR 3-3" × 0.131" NAILS	PER JOIST, TOE NAIL
3	CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS (SEE SECTION R802.5.2 AND TABLE R802.5.2)	4-10D BOX (3" × 0.128"); OR 3-16D COMMON (3 1/2" × 0.162"); OR 4-3" × 0.131" NAILS	FACE NAIL
4	CEILING JOIST ATTACHED TO PARALLEL RAFTER (HEEL JOINT) (SEE SECTION R802.5.2 AND TABLE R802.5.2)	TABLE R802.5.2	FACE NAIL
5	COLLAR TIE TO RAFTER, FACE NAIL OR 1 1/4" × 20 GA. RIDGE STRAP TO RAFTER	4-10D BOX (3" × 0.128"); OR 3-10D COMMON (3" × 0.148"); OR 4-3" × 0.131" NAILS	FACE NAIL EACH RAFTER
6	RAFTER OR ROOF TRUSS TO PLATE	3-16D BOX NAILS (3 1/2" × 0.135"); OR 3-10D COMMON NAILS (3" × 0.148"); OR 4-10D BOX (3" × 0.128"); OR 4-3" × 0.131" NAILS	2 TOE NAILS ON ONE SIDE AND 1 TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS
7	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER TO MINIMUM 2" RIDGE BEAM	4-16D (3 1/2" × 0.135"); OR 3-10D COMMON (3" × 0.148"); OR 4-10D BOX (3" × 0.128"); OR 4-3" × 0.131" NAILS	TOE NAIL
		3-16D BOX 3 1/2" × 0.135"); OR 2-16D COMMON (3 1/2" × 0.162"); OR 3-10D BOX (3" × 0.128"); OR 3-3" × 0.131" NAILS	END NAIL
WALL			
8	STUD TO STUD (NOT AT BRACED WALL PANELS)	16D COMMON (3 1/2" × 0.162")	24" O.C. FACE NAIL
		10D BOX (3" × 0.128"); OR 3" × 0.131" NAILS	16" O.C. FACE NAIL
9	STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16D BOX (3 1/2" × 0.135"); OR 3" × 0.131" NAILS	12" O.C. FACE NAIL
		16D COMMON (3 1/2" × 0.162")	16" O.C. FACE NAIL
10	BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER)	16D COMMON (3 1/2" × 0.162")	16" O.C. EACH EDGE FACE NAIL
		16D BOX (3 1/2" × 0.135")	12" O.C. EACH EDGE FACE NAIL
11	CONTINUOUS HEADER TO STUD	5-8D BOX (2 1/2" × 0.113"); OR 4-8D COMMON (2 1/2" × 0.131"); OR 4-10D BOX (3" × 0.128")	TOE NAIL
12	TOP PLATE TO TOP PLATE	16D COMMON (3 1/2" × 0.162")	16" O.C. FACE NAIL
		10D BOX (3" × 0.128"); OR 3" × 0.131" NAILS	12" O.C. FACE NAIL
13	DOUBLE TOP PLATE SPLICE	8-16D COMMON (3 1/2" × 0.162"); OR 12-16D BOX (3 1/2" × 0.135"); OR 12-10D BOX (3" × 0.128"); OR 12-3" × 0.131" NAILS	FACE NAIL ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
14	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL)	16D COMMON (3 1/2" × 0.162")	16" O.C. FACE NAIL
		16D BOX (3 1/2" × 0.135"); OR 3" × 0.131" NAILS	12" O.C. FACE NAIL
15	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL)	3-16D BOX (3 1/2" × 0.135"); OR 2-16D COMMON (3 1/2" × 0.162"); OR 4-3" × 0.131" NAILS	3 EACH 16" O.C. FACE NAIL 2 EACH 16" O.C. FACE NAIL 4 EACH 16" O.C. FACE NAIL
16	TOP OR BOTTOM PLATE TO STUD	4-8D BOX (2 1/2" × 0.113"); OR 3-16D BOX (3 1/2" × 0.135"); OR 4-8D COMMON (2 1/2" × 0.131"); OR 4-10D BOX (3" × 0.128"); OR 4-3" × 0.131" NAILS	TOE NAIL
		3-16D BOX (3 1/2" × 0.135"); OR 2-16D COMMON (3 1/2" × 0.162"); OR 3-10D BOX (3" × 0.128"); OR 3-3" × 0.131" NAILS	END NAIL
17	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	3-10D BOX (3" × 0.128"); OR 2-16D COMMON (3 1/2" × 0.162"); OR 3-3" × 0.131" NAILS	FACE NAIL
18	1" BRACE TO EACH STUD AND PLATE	3-8D BOX (2 1/2" × 0.113"); OR 2-8D COMMON (2 1/2" × 0.131"); OR 2-10D BOX (3" × 0.128"); OR 2 STAPLES 1 3/4"	FACE NAIL
19	1" × 6" SHEATHING TO EACH BEARING	3-8D BOX (2 1/2" × 0.113"); OR 2-8D COMMON (2 1/2" × 0.131"); OR 2-10D BOX (3" × 0.128"); OR 2 STAPLES, 1" CROWN, 16 GA., 1 3/4" LONG	FACE NAIL
20	1" × 8" AND WIDER SHEATHING TO EACH BEARING	3-8D BOX (2 1/2" × 0.113"); OR 3-8D COMMON (2 1/2" × 0.131"); OR 3-10D BOX (3" × 0.128"); OR 3 STAPLES, 1" CROWN, 16 GA., 1 3/4" LONG	FACE NAIL
		WIDER THAN 1" × 8" 4-8D BOX (2 1/2" × 0.113"); OR 3-8D COMMON (2 1/2" × 0.131"); OR 3-10D BOX (3" × 0.128"); OR 4 STAPLES, 1" CROWN, 16 GA., 1 3/4" LONG	
FLOOR			
21	JOIST TO SILL, TOP PLATE OR GIRDER	4-8D BOX (2 1/2" × 0.113"); OR 3-8D COMMON (2 1/2" × 0.131"); OR 3-10D BOX (3" × 0.128"); OR 3-3" × 0.131" NAILS	TOE NAIL
22	RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATION ALSO)	8D BOX (2 1/2" × 0.113") 8D COMMON (2 1/2" × 0.131"); OR 10D BOX (3" × 0.128"); OR 3" × 0.131" NAILS	4" O.C. TOE NAIL 6" O.C. TOE NAIL
23	1" × 6" SUBFLOOR OR LESS TO EACH JOIST	3-8D BOX (2 1/2" × 0.113"); OR 2-8D COMMON (2 1/2" × 0.131"); OR 3-10D BOX (3" × 0.128"); OR 2 STAPLES, 1" CROWN, 16 GA., 1 3/4" LONG	FACE NAIL

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{b,c}	SPACING AND LOCATION
FLOOR			
24	2" SUBFLOOR TO JOIST OR GIRDER	3-16D BOX (3 1/2" × 0.135"); OR 2-16D COMMON (3 1/2" × 0.162")	BLIND AND FACE NAIL
25	2" PLANKS (PLANK & BEAM—FLOOR & ROOF)	3-16D BOX (3 1/2" × 0.135"); OR 2-16D COMMON (3 1/2" × 0.162")	AT EACH BEARING, FACE NAIL
26	BAND OR RIM JOIST TO JOIST	3-16D COMMON (3 1/2" × 0.162") 4-10 BOX (3" × 0.128"); OR 4-3" × 0.131" NAILS; OR 4-3" × 14 GA. STAPLES, 7/16" CROWN	END NAIL
27	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	20D COMMON (4" × 0.192"); OR	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED
		10D BOX (3" × 0.128"); OR 3" × 0.131" NAILS	24" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
		AND: 2-20D COMMON (4" × 0.192"); OR 3-10D BOX (3" × 0.128"); OR 3-3" × 0.131" NAILS	FACE NAIL AT ENDS AND AT EACH SPLICE
28	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	4-16D BOX (3 1/2" × 0.135"); OR 3-16D COMMON (3 1/2" × 0.162"); OR 4-10D BOX (3" × 0.128"); OR 4-3" × 0.131" NAILS	AT EACH JOIST OR RAFTER, FACE NAIL
29	BRIDGING OR BLOCKING TO JOIST	2-10D BOX (3" × 0.128"); OR 2-8D COMMON (2 1/2" × 0.131"); OR 2-3" × 0.131" NAILS	EACH END, TOE NAIL
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{a,b,c}	SPACING AND LOCATION
			EDGES (INCHES) ^h INTERMEDIATE SUPPORTS ^{c,e} (INCHES)
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLE BOARD WALL SHEATHING TO FRAMING [SEE TABLE R602.3(3) FOR WOOD STRUCTURAL PANEL EXTERIOR WALL SHEATHING TO WALL FRAMING]			
30	3/8" — 1/2"	6D COMMON (2" × 0.113") NAIL (SUBFLOOR, WALL) 8D COMMON (2 1/2" × 0.131") NAIL (ROOF); OR RRSR-01 (2 3/8" × 0.113") NAIL (ROOF)	6 12 f
31	19/32" — 1"	8D COMMON NAIL (2 1/2" × 0.131"); OR RRSR-01; (2 3/8"0.113") NAIL (ROOF)	6 12 f
32	1/8" — 1 1/4"	10D COMMON (3" × 0.148") NAIL; OR 8D (2 1/2" × 0.131") DEFORMED NAIL	6 12
OTHER WALL SHEATHING ^g			
33	1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1 1/4" LONG 16 GA. STAPLE WITH 7/16" OR 1" CROWN	3 6
34	25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1 1/2" LONG 16 GA. STAPLE WITH 7/16" OR 1" CROWN	3 6
35	1/2" GYPSUM SHEATHING ^d	1 1/2" GALVANIZED ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" SCREWS, TYPE W OR S	7 7
36	5/8" GYPSUM SHEATHING ^d	1 3/4" GALVANIZED ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG; 1 5/8" SCREWS, TYPE W OR S	7 7
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING			
37	3/4" AND LESS	6D DEFORMED (2" × 0.120") NAIL; OR 8D COMMON (2 1/2" × 0.131") NAIL	6 12
38	7/8" — 1"	8D COMMON (2 1/2" × 0.131") NAIL; OR 8D DEFORMED (2 1/2" × 0.120") NAIL	6 12
39	1 1/8" — 1 1/4"	10D COMMON (3" × 0.148") NAIL; OR 8D DEFORMED (2 1/2" × 0.120") NAIL	6 12

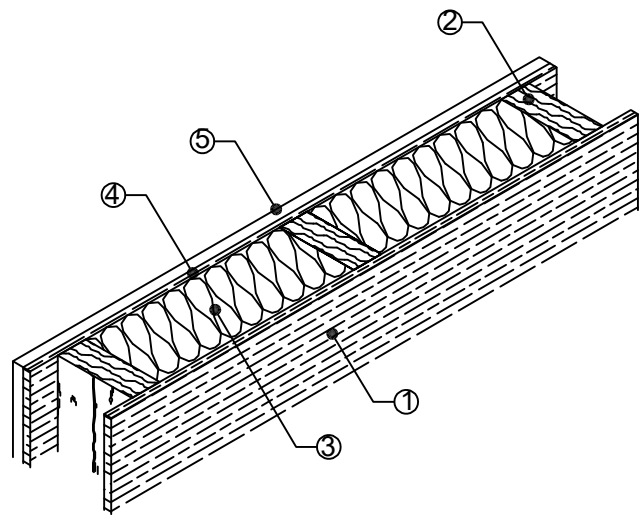
FOR SI: 1 INCH = 25.4 MM, 1 FOOT = 304.8 MM, 1 MILE PER HOUR = 0.447 M/S; 1 KSI = 6.895 MPA.

- A. NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN: 80 KSI FOR SHANK DIAMETER OF 0.192 INCH (20D COMMON NAIL), 90 KSI FOR SHANK DIAMETERS LARGER THAN 0.142 INCH BUT NOT LARGER THAN 0.177 INCH, AND 100 KSI FOR SHANK DIAMETERS OF 0.142 INCH OR LESS.
- B. STAPLES ARE 16 GAGE WIRE AND HAVE A MINIMUM 7/16-INCH ON DIAMETER CROWN WIDTH.
- C. NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.
- D. FOUR-FOOT BY 8-FOOT OR 4-FOOT BY 9-FOOT PANELS SHALL BE APPLIED VERTICALLY.
- E. SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE R602.3(2).
- F. FOR WOOD STRUCTURAL PANEL ROOF SHEATHING ATTACHED TO GABLE END ROOF FRAMING AND TO INTERMEDIATE SUPPORTS WITHIN 48 INCHES OF ROOF EDGES AND RIDGES, NAILS SHALL BE SPACED AT 6 INCHES ON CENTER WHERE THE ULTIMATE DESIGN WIND SPEED IS LESS THAN 130 MPH AND SHALL BE SPACED 4 INCHES ON CENTER WHERE THE ULTIMATE DESIGN WIND SPEED IS 130 MPH OR GREATER BUT LESS THAN 140 MPH.
- G. GYPSUM SHEATHING SHALL CONFORM TO ASTM C1396 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C208.
- H. SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING AND AT FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS OF THIS CODE. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.
- I. WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE, PROVIDE TWO TOE NAILS ON ONE SIDE OF THE RAFTER AND TOE NAILS FROM THE CEILING JOIST TO TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE. THE TOE NAIL ON THE OPPOSITE SIDE OF THE RAFTER SHALL NOT BE REQUIRED.
- J. RRSR-01 IS A ROOF SHEATHING RING SHANK NAIL MEETING THE SPECIFICATIONS IN ASTM F1667.

1 HR FIRE RATED WALL U.L. DESIGN NO. U356

A WALL SYMBOL

- 5/8" TYPE X GYPSUM WALLBOARD WITH 6D COATED NAILS, 1-7/8" LONG, 1/4" HEADS, 7" O.C.
- 2X6 WOOD STUDS @ 16" O.C.
- GLASS FIBER OR MINERAL WOOL INSULATION
- MIN. 7/16" APA RATED SHEATHING EXPOSURE 1 OSB OR PLYWOOD
- APA RATED SIDING EXTERIOR OR OTHER EXTERIOR FINISH (CODE APPROVED TYPE)



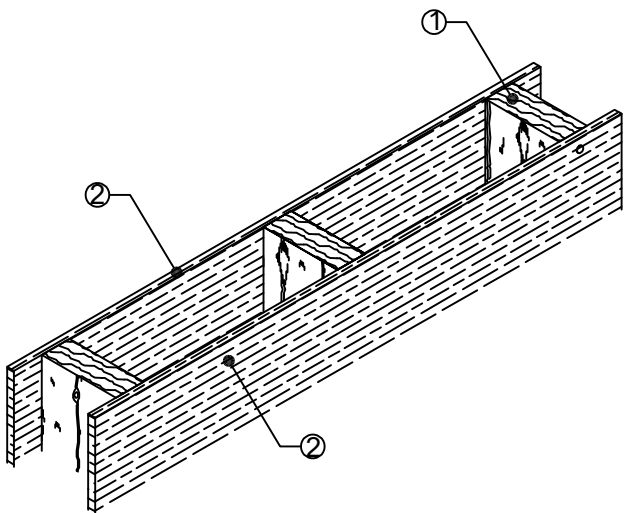
2 TYPICAL EXTERIOR WALL

G-102 NOT TO SCALE

NON- RATED WALL

B WALL SYMBOL

- NOMINAL 2X4 WOOD STUDS @ 16" O.C.
- 1/2" TYPE X GYPSUM WALLBOARD



3 NON-LOAD BEARING WALL

G-102 NOT TO SCALE

WALL FRAMING LEGEND	
	INTERIOR WALL - 2"X4" STUDS @16" O.C.
	INTERIOR BEARING WALL - 2"X4" STUDS @16" O.C.
	EXTERIOR WALL - 2"X6" STUDS @16" O.C.
	FOUNDATION WALL WITH #4 REBARS @12" O.C. VERT. AND HOR.
	WOOD POST IN WALL, 2x4 NAILED IN INTERIOR WALLS, 2x6 NAILED IN EXTERIOR WALLS UNLESS NOTED OTHERWISE.
	POINT LOAD FROM ABOVE
	AMOUNT OF STUDS TO BE NAILED, 2X4 IN INTERIOR WALLS, 2X6 IN EXTERIOR WALLS. WHEN LABELED WITH LETTER "P", IT'S JUST AN INDICATION OF A POINT LOAD FROM ABOVE.

FOOTING LEGEND	
	12" THICK FOOTING WITH (4) #4 REBARS BOTH WAYS. FOLLOW VALUE OF TAG FOR X&Y DIMENSION OF SQUARE.
	SONOTUBE, 3'6" BELOW GRADE, WITH (4) #4 REBAR. FOLLOW VALUE OF TAG FOR DIAMETER OF TUBE.

JOIST LEGEND	
	2"X8" RAFTERS @ 16" O.C.
	2"X8" CEILING JOIST @ 16" O.C. W/ BRIDGING AS REQUIRED
	2"X10" FLOOR JOIST @ 16" O.C. W/ BRIDGING AS REQUIRED

WINDOW & DOOR HEADER LEGEND	
	(2) 2"X10" HEADER

PROJECT

PROPOSED RENOVATIONS FOR
1 Lockhart Ln
TOWN OF LLOYD, ULSTER
COUNTY, NEW YORK 12528

REV	REVISION	DATE

REVISIONS

DRAWN BY; MDH
CHECKED BY; RE
DATE; 4/20/26
DRAWING NO.

PROJECT

PROPOSED RENOVATIONS FOR

1 Lockhart Ln

TOWN OF LLOYD, ULSTER

COUNTY, NEW YORK 12528

REV	REVISION	DATE

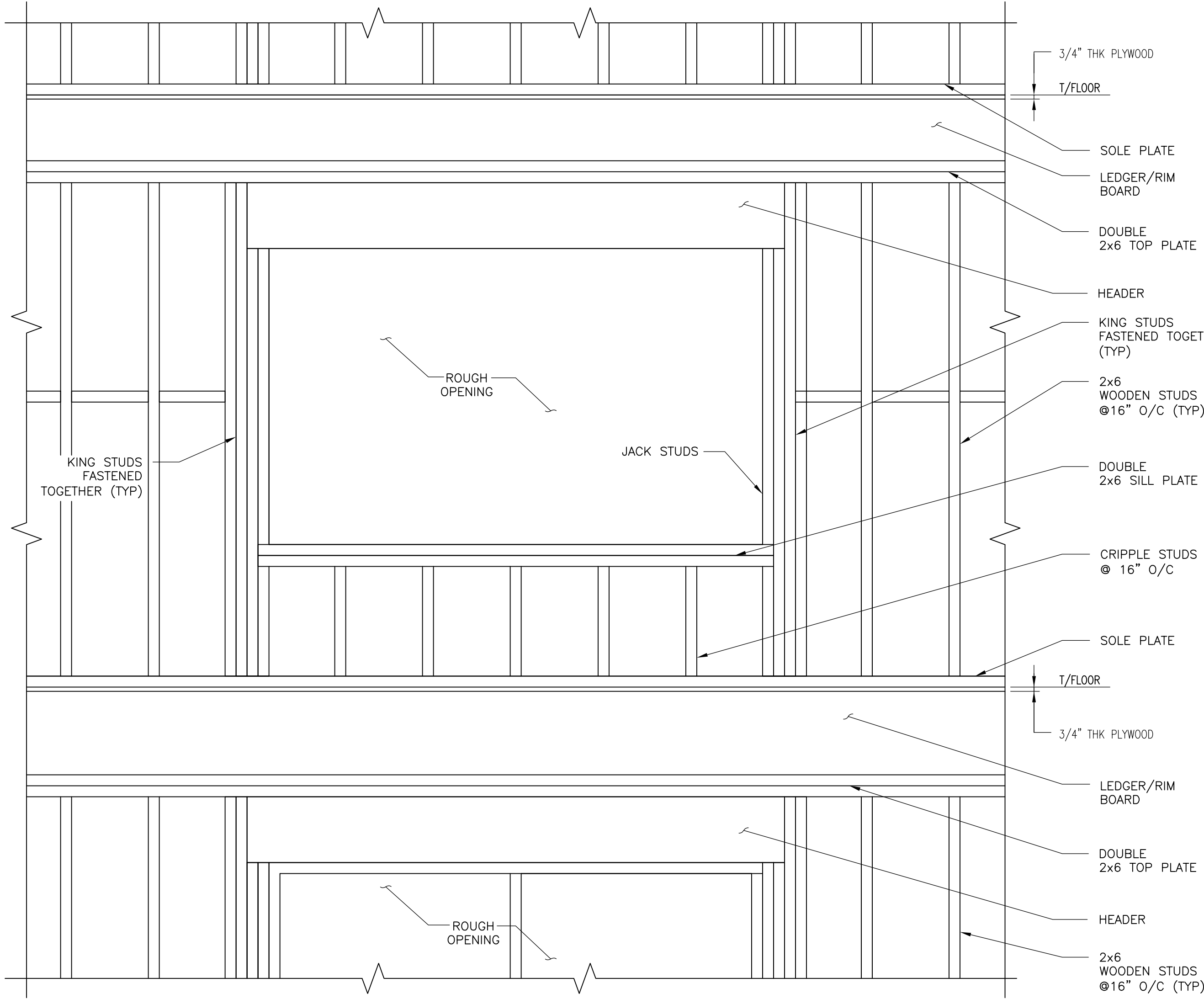
REVISIONS

DRAWN BY; MDH

CHECKED BY; RE

DATE; 4/20/26

DRAWING NO.



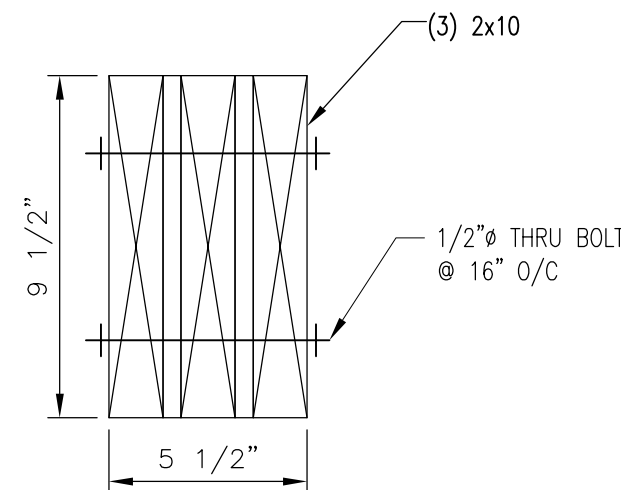
TYPICAL WINDOW STUD FRAMING DETAIL

WINDOW SCHEDULE			
WINDOW HEADER NOTATION	WINDOW WIDTH	HEADER SIZE	KING STUD SIZE
H1	<48"	(3) 2x10	(2) 2x6
H2	<80"	(3) 2x12	(3) 2x6
H3	<128"	(3) 1 3/4x11 7/8 GP LVL HEADER	(4) 2x6

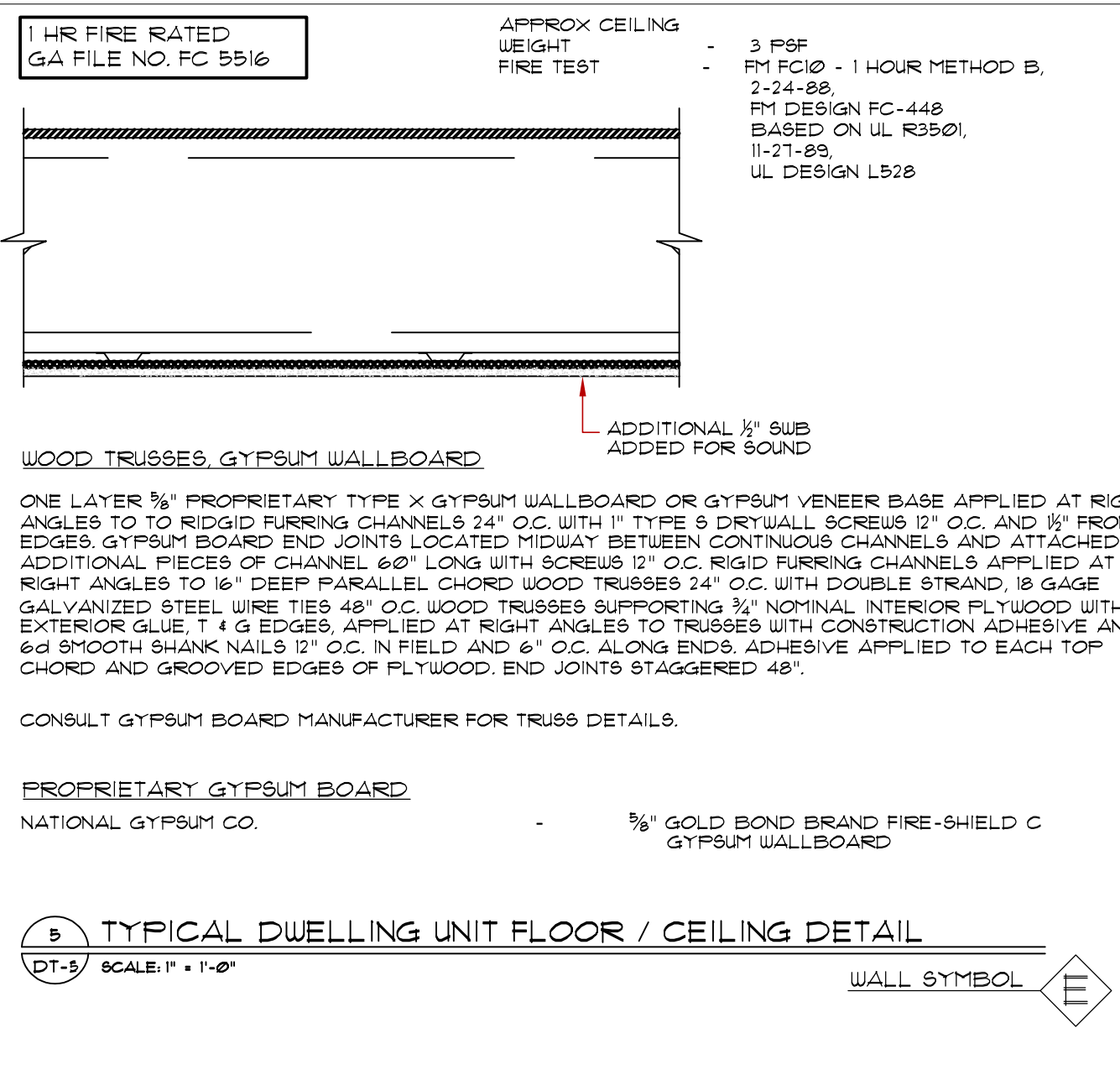
(SCALE: 3/4"=1'-0")

NOTE: JACK STUD REQUIREMENT

1. 2- 2x6 STUDS FOR OPENING @ EACH END < 48".
2. 3- 2x6 STUDS FOR OPENING @ EACH END < 80".
3. 4- 2x6 STUDS FOR OPENING @ EACH END < 128".



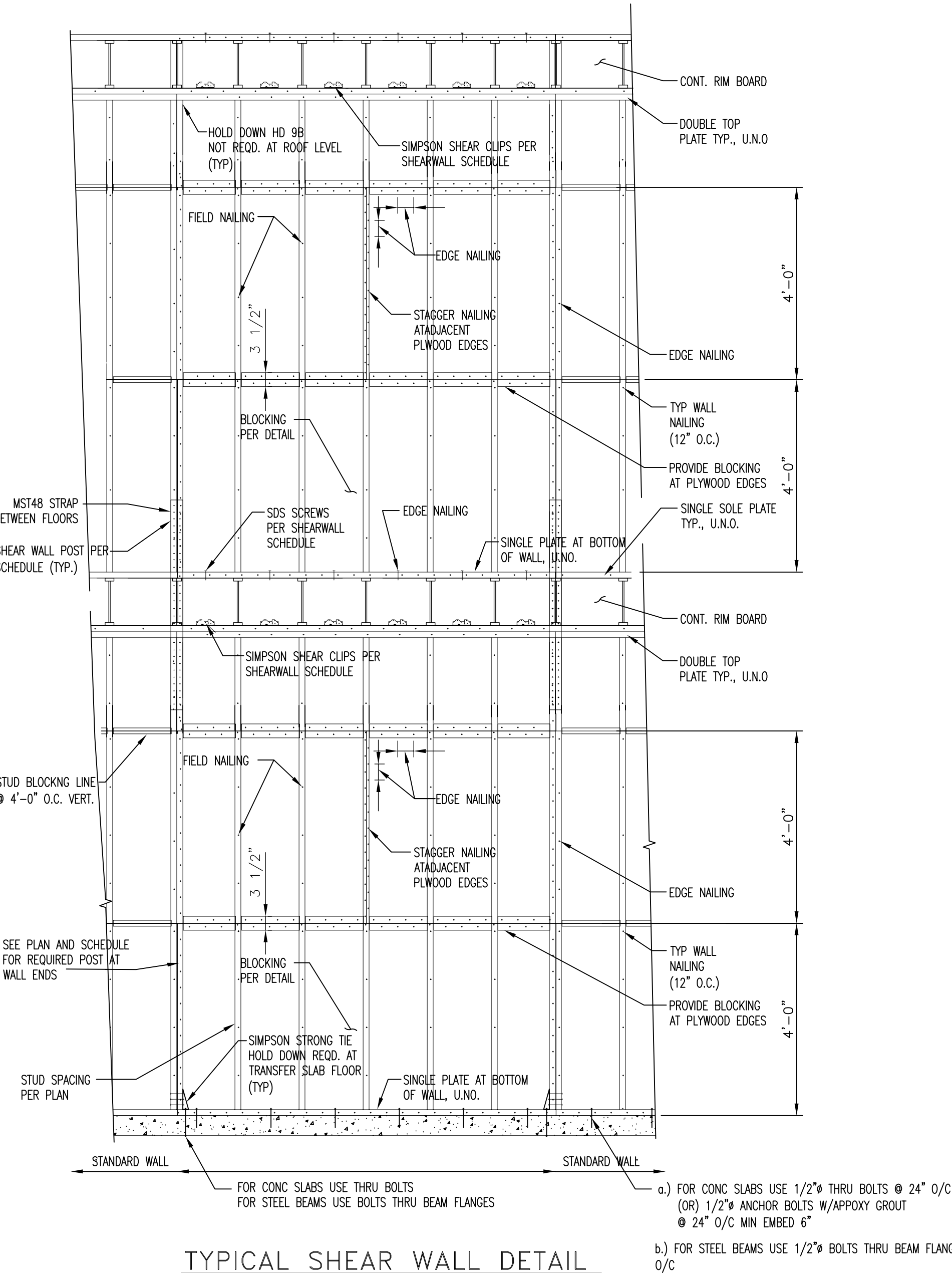
LINTEL SECTION



TYPICAL NAILING SCHEDULE		
FRAMING CONDITION	TYPE	COMMON NAILS
JOIST TO SILL	TOE NAIL	4-8d
BRIDGING TO JOIST	TOE NAIL	2-8d
SOLE PLATE TO JOIST OR BLOCKING	FACE NAIL	16d @ 16" c/c
TOP PLATE TO STUD	END NAIL	2-16d
STUD TO SOLE PLATE	TOE NAIL	4-8d
BUILT-UP STUDS	FACE NAIL	16d @ 16" c/c
DOUBLE TOP PLATES	FACE NAIL	(2)16d @ 16" c/c
TOP PLATES LAPS & INTERSECTS	TOE NAIL	2-16d
BUILT-UP HEADERS & BEAMS	FACE NAIL	(2)20d @ 16" c/c
ROOF RAFTER TO PLATE	-----	FRAMING ANCHOR
ROOF TRUSS TO PLATE	-----	FRAMING ANCHOR
PLYWOOD SHEATHING TO STUDS & RIM BAND	@ EDGES	8d @ 6" c/c
	INTERMEDIATE	8d @ 12" c/c
PLYWOOD FLOOR DECK TO JOISTS	@ EDGES	8d @ 6" c/c
	INTERMEDIATE	8d @ 10" c/c
PLYWOOD FLOOR DECK TO RAFTERS	@ EDGES	8d @ 6" c/c
	INTERMEDIATE	8d @ 12" c/c

NOTE:
NAILINGS LISTED ABOVE ARE MINIMUMS UNLESS NOTED OTHERWISE ON DRAWINGS
NAIL SIZE - WHERE INDICATED IN SCHEDULE AND ON DRAWINGS.

TYPICAL HANGERS SCHEDULE		
MINIMUM REQUIRED HANGER UNLESS NOTED OTHERWISE - SIMPSON		
BEAM SIZE	TOP HANGER	FACE HANGER
2x8 SAWN	LB28	LUS28
2x10 SAWN	LB210AZ	LUS210
2x12 SAWN	LB212AZ	LUS210
(2) 2x10 SAWN	HUS210-2TF	LUS28-2
(2) 2x12 SAWN	HUS212-2TF	LUS210-2
(3) 2x12 SAWN	HU212-3TF	LUS21-3
TJ1110	ITS1.81/1.88	IUS1.81/11.88
TJ1210	ITS2.06/1.88	IUS2.06/11.88
TJ1230, 360	ITS2.37/1.88	IUS2.37/11.88
TJ1560	ITS3.56/1.88	IUS3.56/11.88
1 3/4 x 11 7/8 LVL	ITS1.81/1.88	HU11
DBL 1 3/4 x 11 7/8 LVL	ITS3.56/1.88	HU412
3 1/2 x 9 1/2	HB3.56/9.5	HU410
3 1/2 x 11 1/4	HB3.56/11.25	HU412
3 1/2 x 11 7/8	HB3.56/11.88	HU412
5 1/4 x 9 1/2	HB5.50/9.5	HU610
5 1/4 x 11 1/4	HB5.50/11.25	HU612
5 1/4 x 11 7/8	HB5.50/11.88	HU612
7 x 11 7/8	HB7.12/11.88	HU412-2
7 x 16	HB7.12/16	HU414-2



TYPICAL SHEAR WALL DETAIL

(SCALE: 1/2"=1'-0")

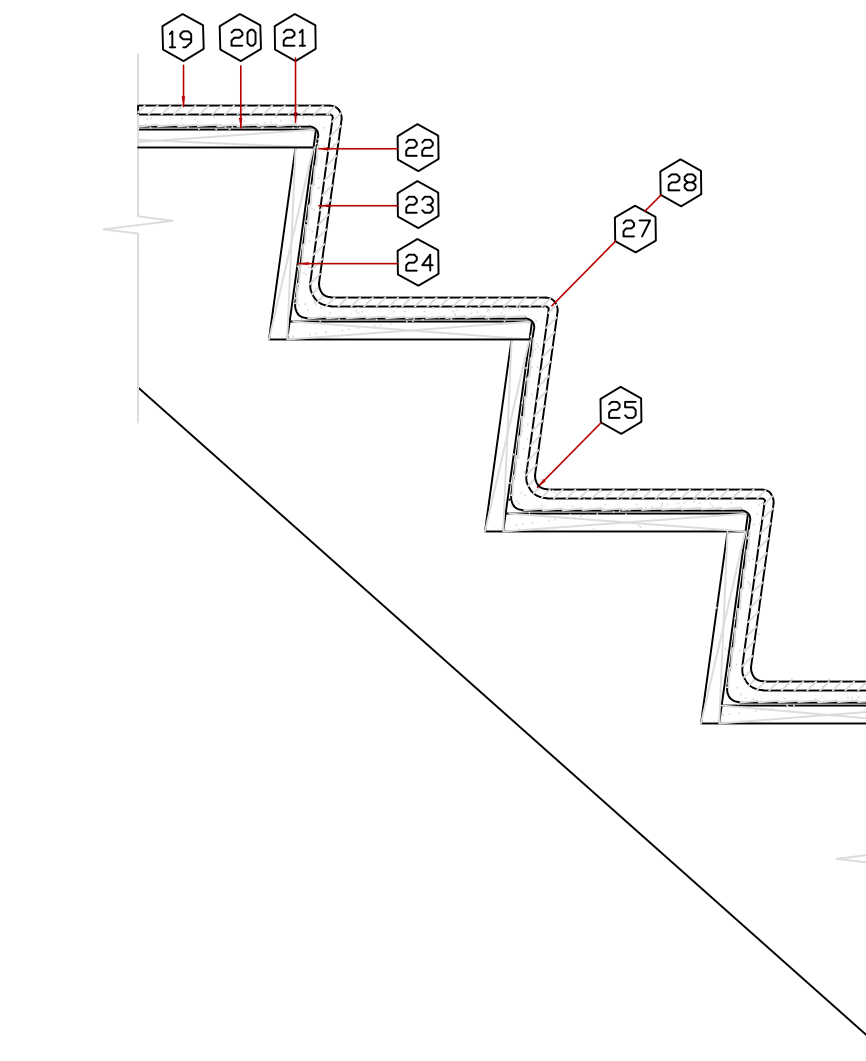
NOTES:

1. SEE ARCHITECTURAL WALL ASSEMBLIES FOR LOCATION OF SHEATHING IN SHEAR WALLS TYP.
2. INSTALL PANELS EITHER HORIZONTALLY OR VERTICALLY.
3. BLOCKING IS REQUIRED AT ALL PANEL EDGES
4. UNLESS NOTED OTHERWISE, THE SHEARWALL DESIGNATION APPLIES TO THE FULL EXTENT OF THE WALL BETWEEN CORNERS OF WALLS.
5. PROVIDE SHEAR WALL SHEATHING AND NAILING FOR THE ENTIRE LENGTH OF THE WALLS INDICATED ON THE PLANS. ENDS OF FULL HEIGHT WALLS ARE DESIGNATED BY WINDOWS, OR DOORWAYS OR AS DESIGNATED ON PLANS. HOLD-DOWN REQUIREMENTS PER PLANS.
6. SHEATHING EDGE NAILING IS REQUIRED AT ALL HOLD-DOWN POSTS. EDGE NAILING MAY ALSO BE REQUIRED TO EACH STUD USED IN BUILT-UP HOLD-DOWN POSTS. ADDITIONAL INFORMATION PER HOLD-DOWN DETAILS.
7. INTERMEDIATE FRAMING TO BE 2x MINIMUM MEMBERS.
8. FRAMING CLIPS SIMPSON STRONG-TIE A35 OR LTP5 OR APPROVED EQUIVALENT.
9. WHERE BOTTOM PLATE ATTACHMENT SPECIFIES (2) ROWS OF NAILS, STAGGER NAILS IN ROWS 1 1/2" APART MINIMUM.
10. PROVIDE HOT DIPPED GALVANIZED (ELECTRO-PLATING IS NOT ACCEPTABLE) NAILS AND CONNECTOR PLATES (FRAMING ANGLES, ETC.) FOR ALL CONNECTORS IN CONTACT WITH PRESSURE TREATED FRAMING MEMBERS.
11. WHERE WOOD SHEATHING IS APPLIED OVER GYPSUM SHEATHING, CONTACT THE ENGINEER OF RECORD FOR ALTERNATE NAILING REQUIREMENTS.
12. AT ADJOINING PANEL EDGES, (2) 2x STUDS NAILED TOGETHER MAYBE USED IN PLACE OF SINGE 3x STUD. DOUBLE 2x STUDS SHALL BE CONNECTED TOGETHER BY NAILING THE STUDS TOGETHER WITH 3" LONG NAILS OF THE SAME SPACING AND DIAMETER AS THE PATE NAILING PER DETAIL A' THIS SHEET.
13. MINIMUM PANEL BLOCKING SHALL BE A 2x (MATCH DEPTH OF WALL STUDS) PLACED FLAT AND CENTERED ON THE JOINT WHERE REQUIRED. SHEATHING DIMENSION SHALL BE 24" AT BOUNDARIES AND CHANGES IN FRAMING UNLESS ALL EDGES ARE BLOCKED.
14. MIN. 1/2" GYPSUM BOARD AT INTERIOR SURFACE OF THE WALL W/ 5d NAILS AT 7" O.C. MIN. REQUIRED FOR ALL SHEAR WALLS.
15. WOOD SHEATHING TO BE APA RTD STRUCTURAL 1 UNLESS NOTED OTHERWISE.
16. SHEARWALLS SHALL RUN CONTINUOUS THROUGH BREAKS CAUSED BY INTERSECTING WALLS.
17. NAILS SHALL BE COMMON, FROM AN APPROVED MANUFACTURER ONLY WITH A MINIMUM NAIL PENETRATION OF 1 1/2" INTO FRAMING. FIELD NAILING SHALL BE SPACED AT 12" O.C. U.N.O.

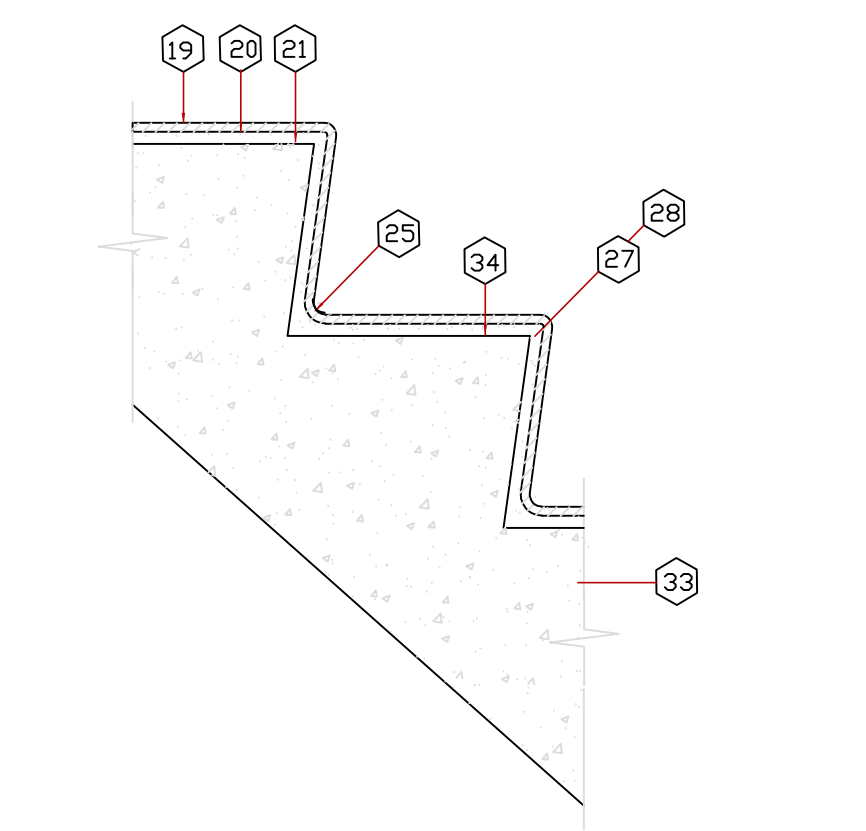
SHEARWALL END POST SCHEDULE		
MARK	LUMBER SIZE	BUILT-UP COLUMN ATTACHMENT
Ⓢ	(3) 2x6	50d NAILS (1 ROW STAGGERED @ 8" O/C)

FLOOR & ROOF SCHEDULE	
MARK	FLOOR TYPE
S1	3/4" THICK STRUCTURAL 2 C-D INT-APA PLYWOOD WITH EXTERIOR GLUE AND NAILED. FULLY BLOCKED AT EDGES AND SECURED WITH 8d NAILS AT 6" O.C. AT PLYWOOD EDGES; 12" O.C. IN FIELD
S2	5/8" THICK APA RATED T&G SHEATHING WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, BLOCKED AT EDGES AND SECURED WITH 8d NAILS AT: 6" O.C. AT PLYWOOD EDGES; 12" IN FIELD

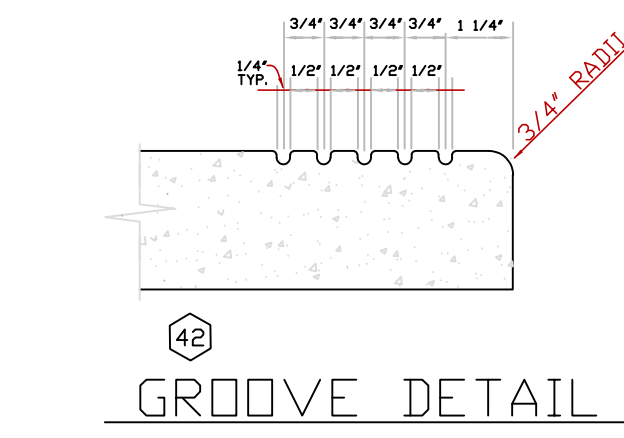
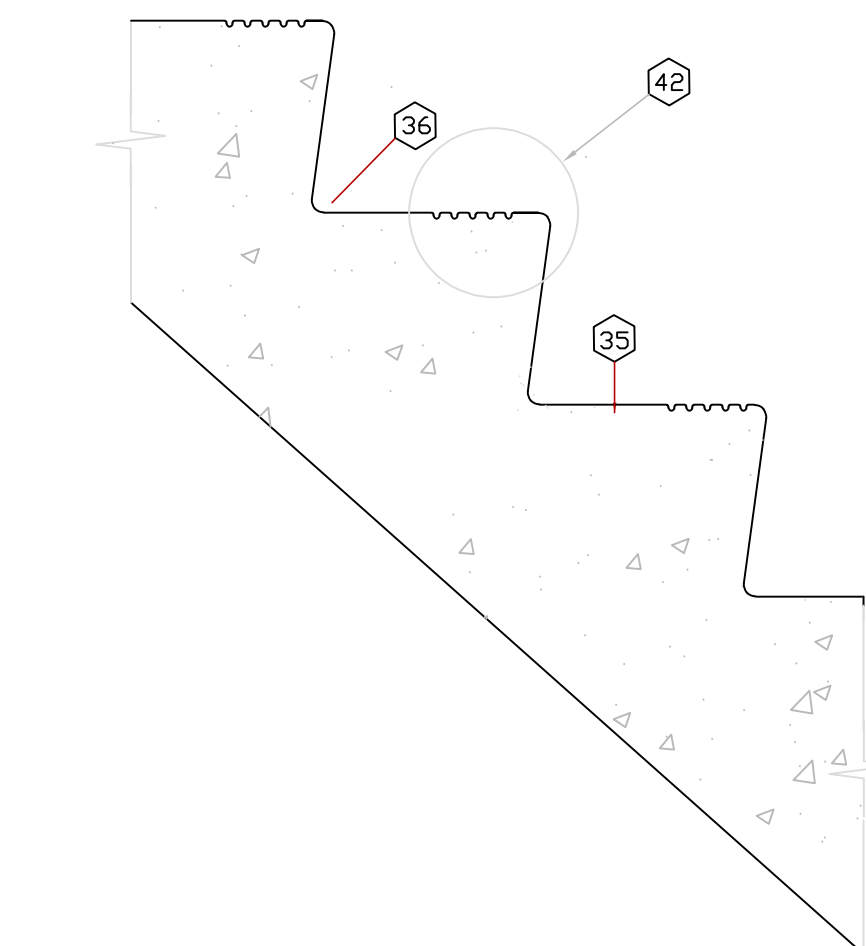
SHEAR WALL SCHEDULE									
MARK	WALL SHEATHING 1, 2	NAIL SIZE AND SPACING AT PANEL EDGES / FIELD 4, 5, 6	BLOCKING AND STUD SIZE AT ADJOINING 12 PANEL EDGES	SHEAR ATTACHMENT AT FLOOR		END STRAP @ FLOOR LEVEL	HOLDOWN @ CONC LEVEL		
				SILL PLATE CONNECTION TO CONCRETE	SILL PLATE AT 2ND FLOOR 12			AT PLATFORM FRAMING	
								SILL PLATE	TOP PLATE
Ⓢ	1/2" PLYWOOD- ONE SIDE OF WALL	EDGE: 8d @ 3" O.C. FIELD: 8d @ 12" O.C.	2x	1/2"Ø SIMPSON HD @ 36" O/C & HLTI X/U 72 PB PAF @ 6" O/C	3x	100 @ 3" O/C	SIMPSON A35 CLIPS AT 18" O/C W/TOE MATERIAL	MST48-6'-0" LONG	HD05-SDS2.5 W/SB-7/8X24 ANCHOR BOLT



7 STAIR FINISH DETAIL
SCALE 3/4" = 1'



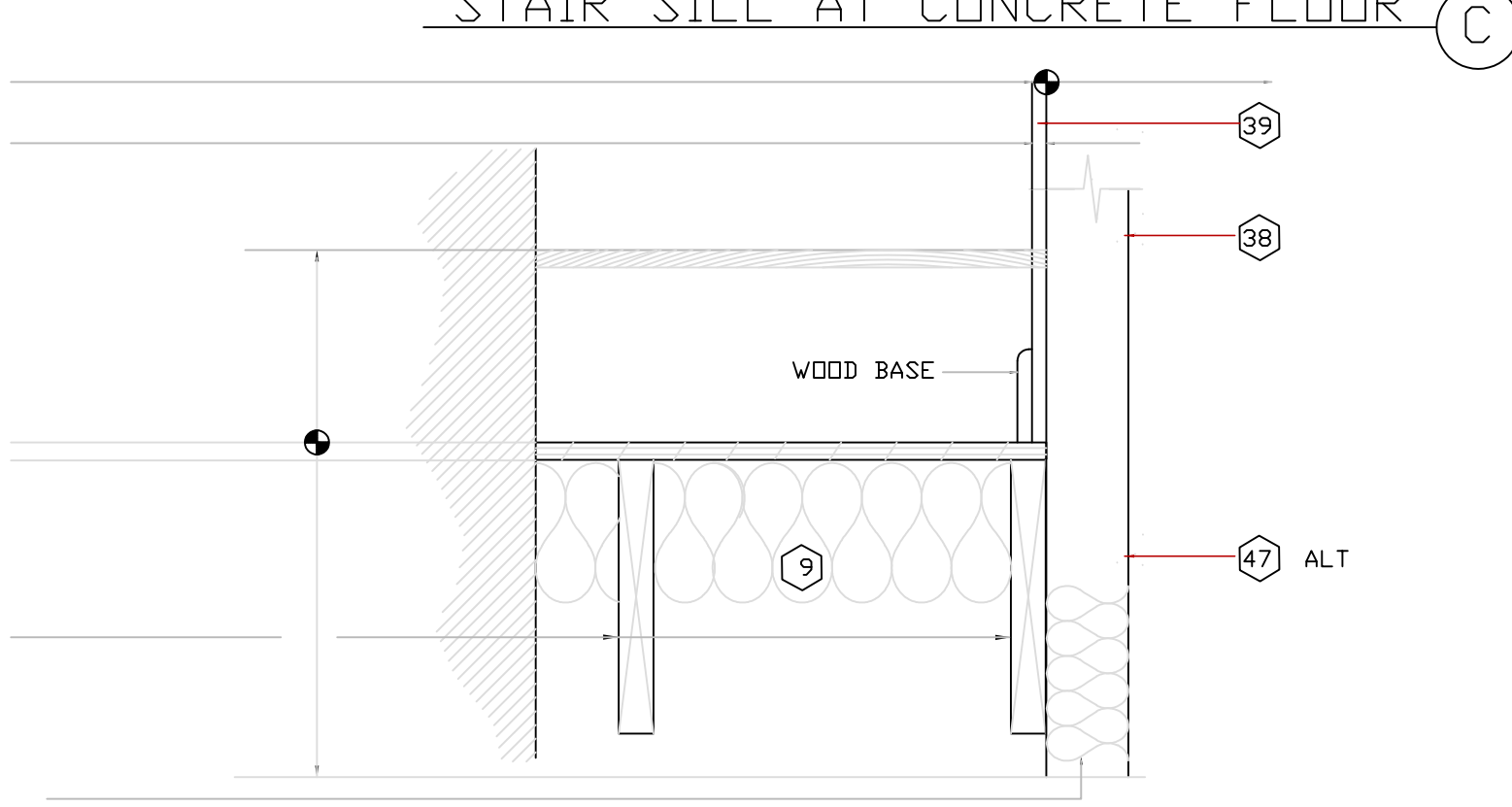
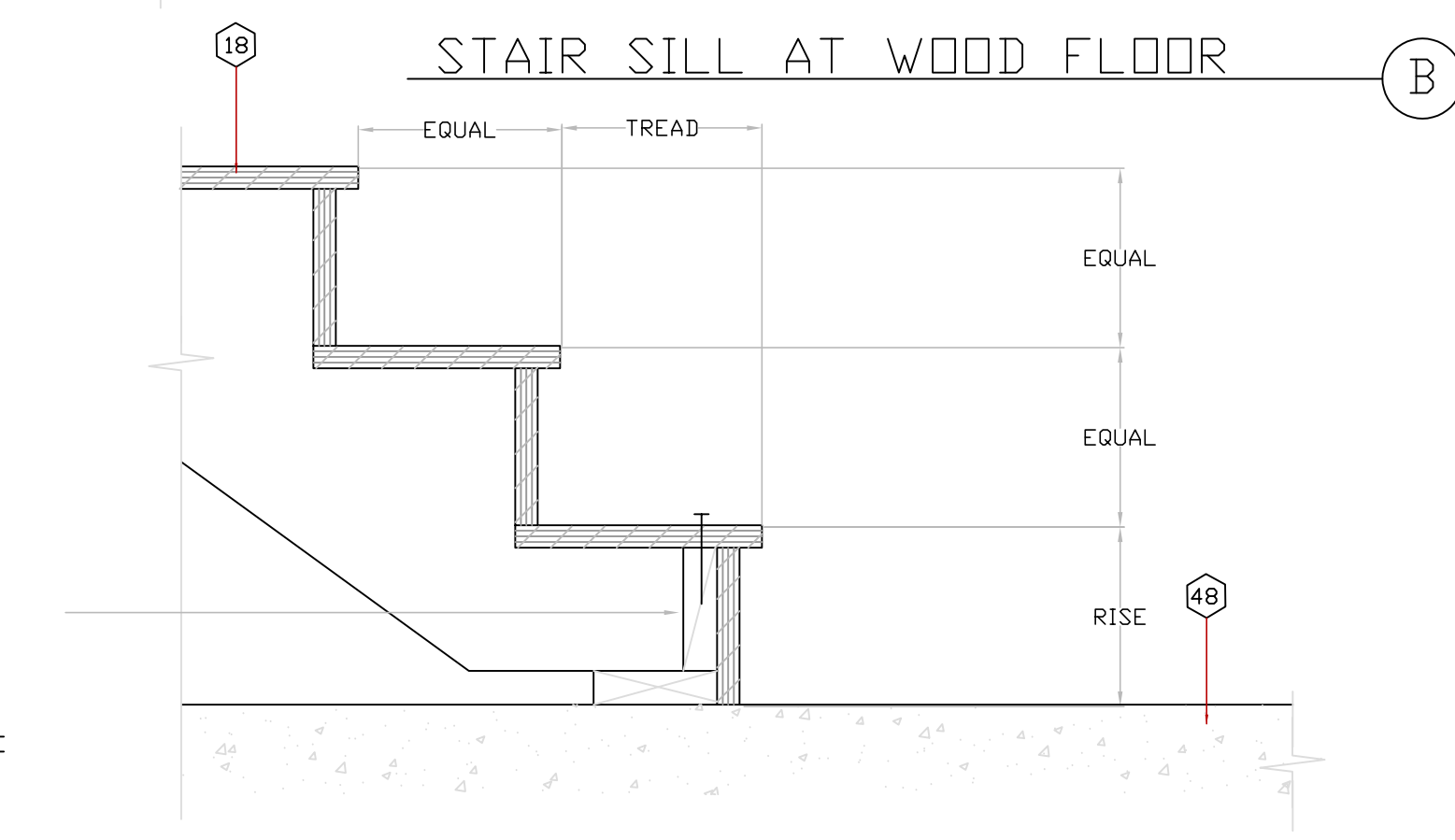
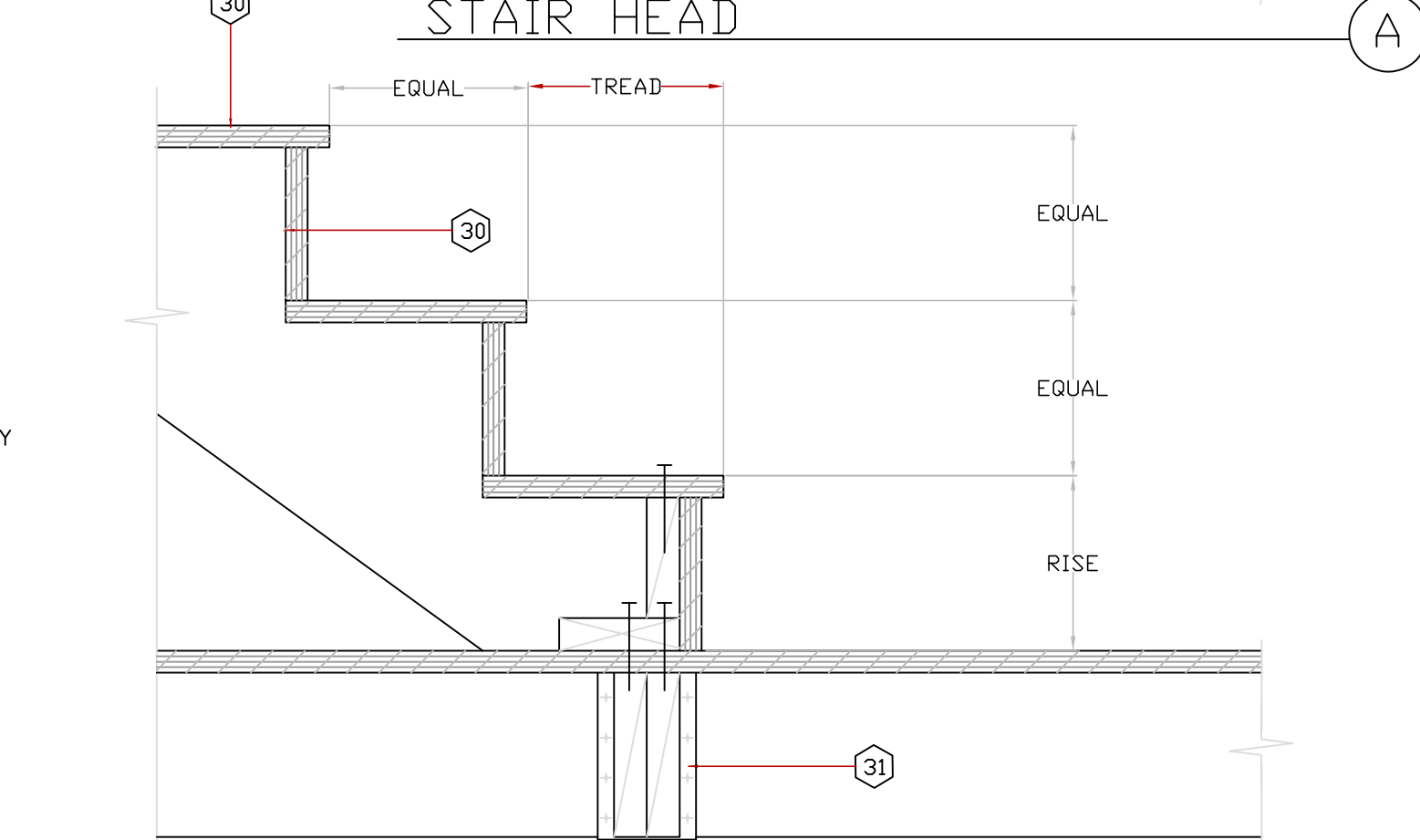
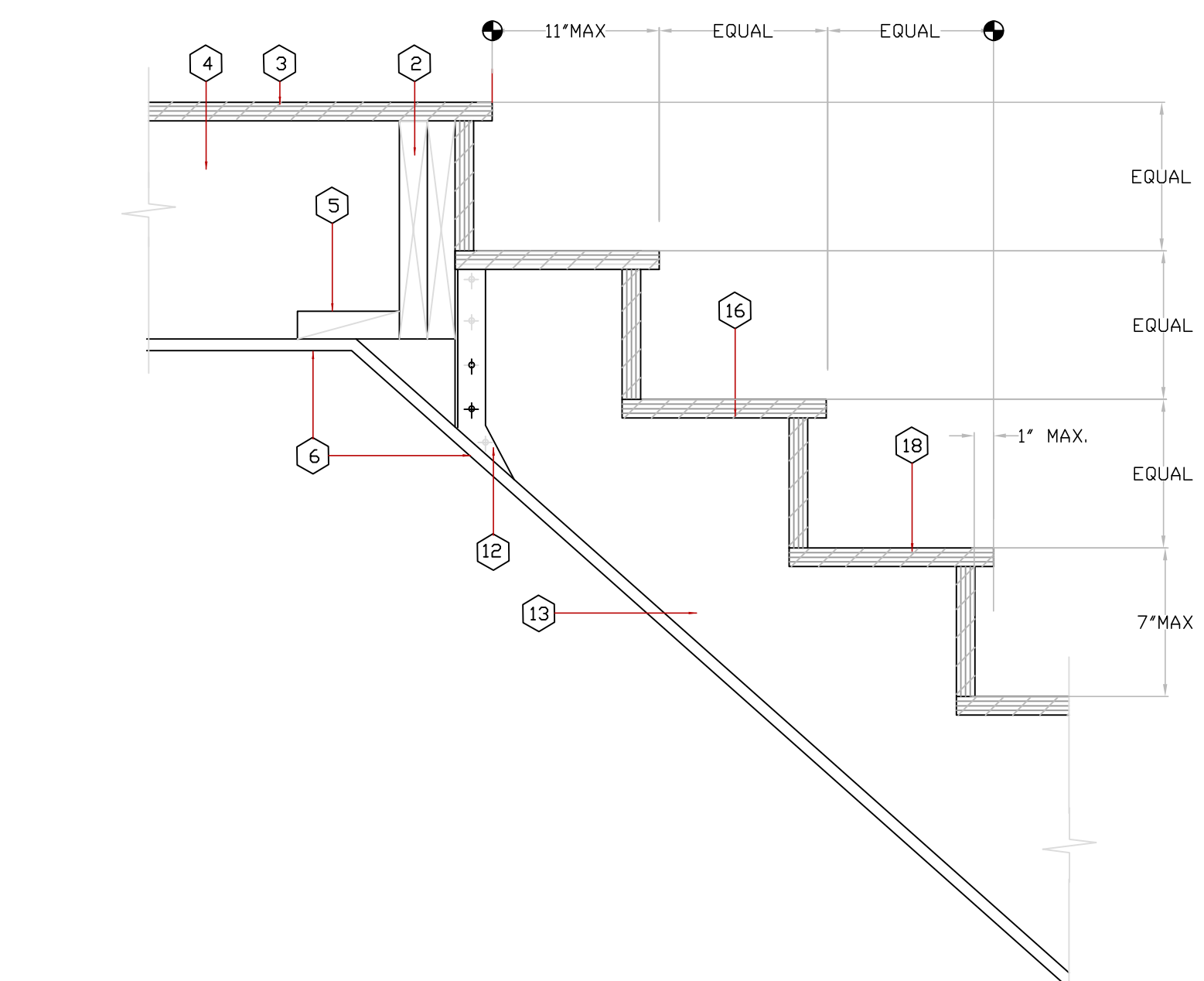
6 STAIR FINISH DETAIL
SCALE 3/4" = 1'



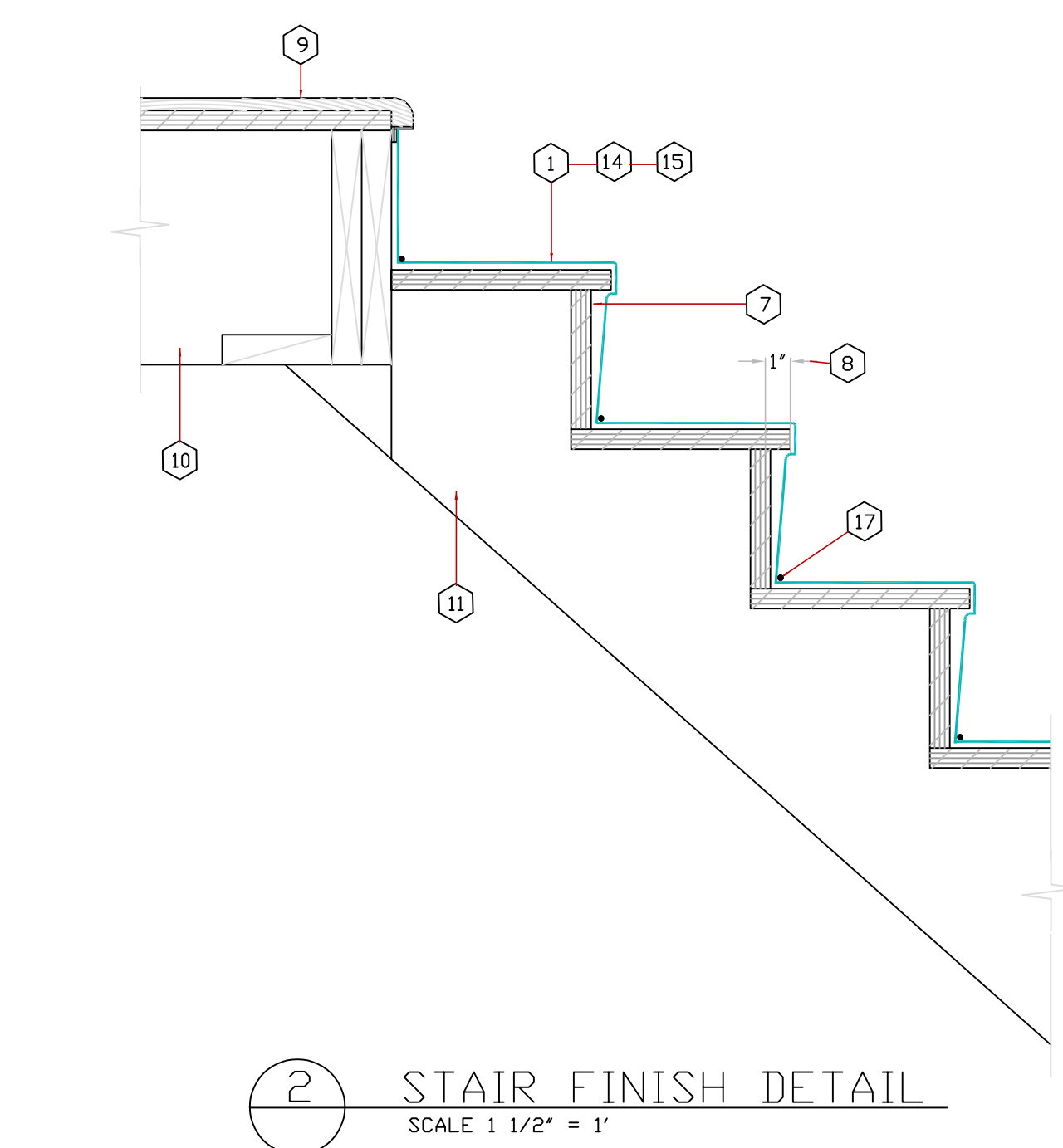
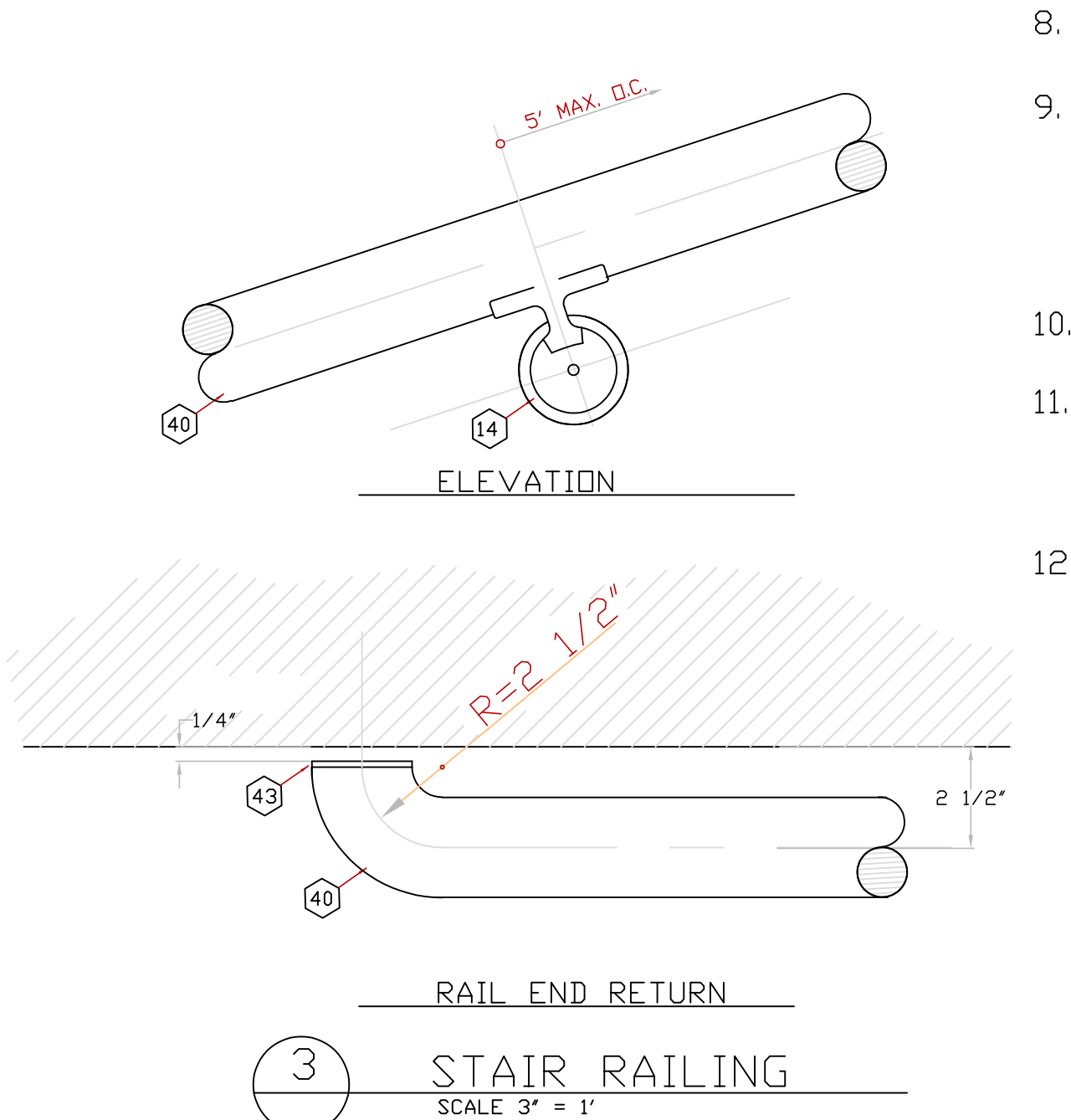
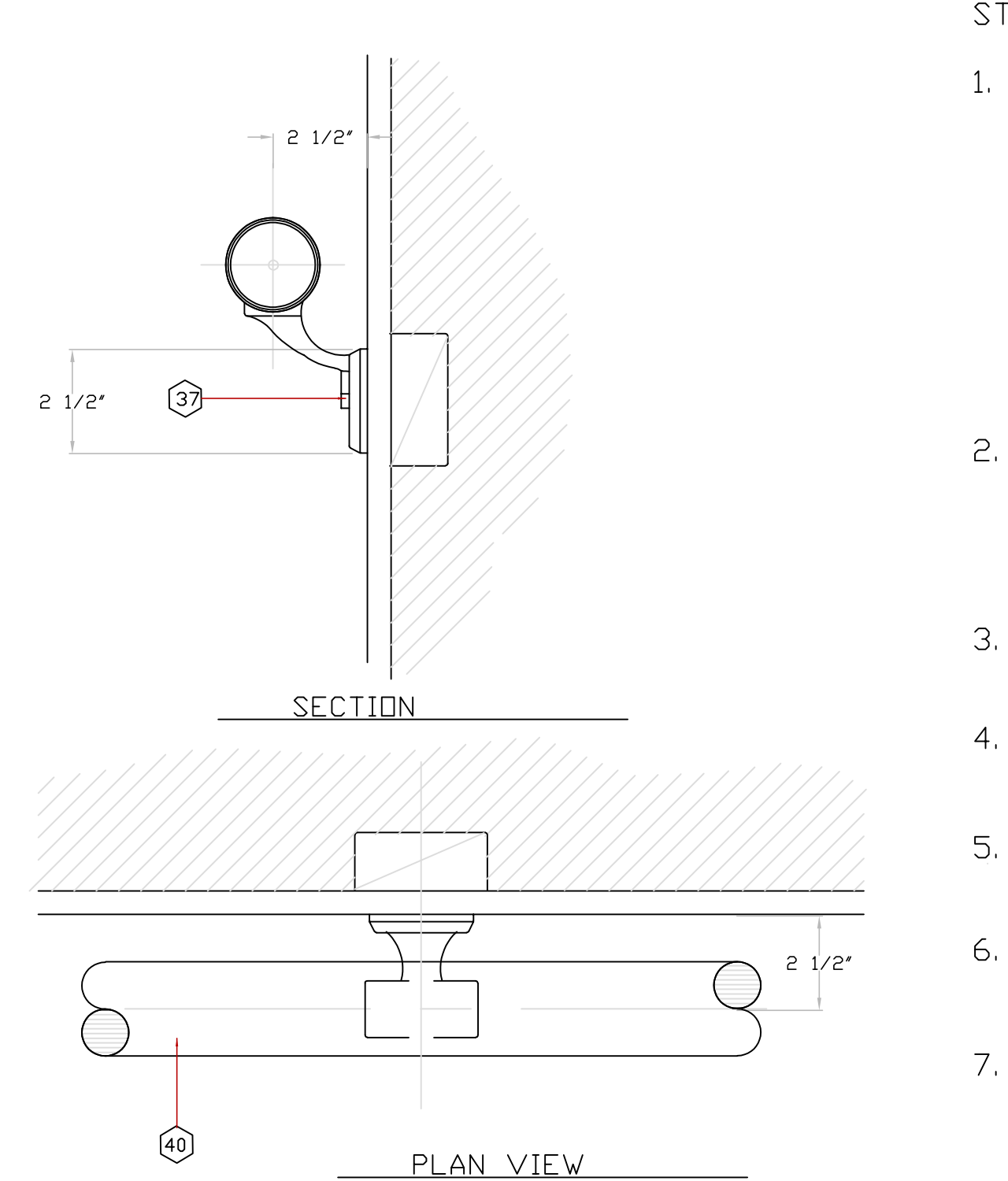
4 WOOD STAIR DETAIL
SCALE 1 1/2" = 1'

5 EXTERIOR CONCRETE STAIR DETAIL
SCALE 1 1/2" = 1'

- LEGEND**
- 1 NOTE: CARPET STRIP AT CENTRAL OF STAIR ONLY HARDWOOD EDGES. VERIFY DIMENSION AT SIDES
 - 2 DOUBLE 2 X FLOOR JOISTS
 - 3 PLYWOOD SUBFLOOR
 - 4 FLOOR JOIST
 - 5 2 X 6 BLOCKING
 - 6 INTERIOR "ONE HOUR" RATED FINISH WHERE OCCURRING
 - 7 NOTE: COVE MOLDING NOT SHOWN FOR CLARITY, BELOW NOSING, SEE DET. #1
 - 8 1" LIP MAXIMUM
 - 9 HARDWOOD FLOORING AND NOSING
 - 10 2X FLOOR JOIST SEE FRAMING PLAN
 - 11 2X STAIR STRINGER SEE PLAN
 - 12 "SIMPSON" HU HANGER
 - 13 2X12 STAIR STRINGERS AT 12" O.C. W/ ONE ADJACENT TO WALL TYPICAL EACH SIDE
 - 14 CARPET TACK STRIP TOP AND BOTTOM AS REQUIRED TYPICAL
 - 15 CARPET OVER PLYWOOD OR HARDWOOD VERIFY IN THE FIELD.
 - 16 CUT PLYWOOD RISES OR TREADS, FASTEN TO 2X STAIR STRINGERS W/ GLUE AND DRYWOD SCREWS
 - 17 BRASS CARPET HOLDDOWN TYPICAL AT INSIDE OF INSIDE BOTTOM OF EACH STEP
 - 18 NOTE: ALLOW FOR FINISH ON PLYWOOD
 - 19 CERAMIC TILE
 - 20 BOND COAT
 - 21 MORTAR BED: 3/4" MIN. - 1 1/4" MAX.
 - 22 SCRATCH COAT
 - 23 METAL LATH
 - 24 WATERPROOF MEMBRANE DESIGN REQUIREMENTS
 - 25 USE COVE TILE AT JUNCTION OF RISER AND TREAD FOR MAINTAINING QUARRY OR PAVER TILE. COVE: SET HORIZONTALLY OR VERTICALLY TO FACILITATE LAYOUT
 - 26 FINISHED STEP NOSINGS ARE AVAILABLE IN SPECIALLY SHAPED QUARRY AND PAVER TILE PIECES
 - 27 USE FULL RADIUS CERAMIC MOSAIC BULLNOSE TILE FOR NOSINGS
 - 28 SLIP RESISTANT TILE REQUIRED ON STAIR TREADS TYPICALLY
 - 29 ALTERNATE: EXTERIOR GRADE PLYWOOD RISER / TREAD
 - 30 "SIMPSON" HU JOIST HANGERS DOUBLE BLOCKING TO FLOOR JOIST
 - 31 NOTE: ALL PLYWOOD EXTERIOR GRADE TYPICAL 3/4" CDX
 - 32 FINISH CONCRETE WITH MEDIUM ROUGH BRUSH
 - 33 HAMMER FINISH FREE OF CRACKS, WAXY OR OILY FILMS AND/OR CURING COMPOUNDS
 - 34 LIGHT BROOM FINISH TYPICAL
 - 35 3/4" RADIUS TOP AND BOTTOM TYP.
 - 36 3/8" DIA. LAG BOLT
 - 37 2X4 STUDS AT 16" O.C. TYPICAL (WALL)
 - 38 INTERIOR FINISH
 - 39 1 1/4" DIA. STD. PIPE HANDRAIL (VERIFY W/ OWNER, WOOD SIM.)
 - 40 2X BLOCKING W/ 2 1/2" FH WD. SCREWS AT 4" O.C. TYPICALLY
 - 41 TOOL SAFETY GROOVES STOP TOOLS 3" FROM EACH END OF TREAD. OMIT GROOVES IF SCHED OR DET. CALLS FOR OTHERWISE
 - 42 CAPPED END, WELD AND GRIND SMOOTH
 - 43 METAL BRACKET
 - 44 VERIFY WALL THICKNESS SEE PLANS
 - 45 INTERIOR FINISH ONE HOUR RATED AT STAIR
 - 46 ALT. INSULATE UNDER SIDE OF STAIRS W/ R-19 BATTS
 - 47 SEE STRUCTURAL FOR SLAB THICKNESS AND REINFORCING
 - 48 MOLDING
 - 49 1 1/8" X 1 3/8" WOOD WALL STRINGER
 - 50 3/4" PLYWOOD TREAD
 - 51 BALLISTER DOVETAILED INTO TREAD
 - 52 COVE MOLDING
 - 53 2X12 STRINGERS AT 12" O.C. W/ 4-16d AT EACH STUD ALT. 3" USE DRYWALL SCREWS
 - 54 1 1/2" OUTER FINISH WOOD STRINGER
 - 55 INSULATE STAIR WALLS W/ R-11 SOUND BATTS
 - 56
 - 57
 - 58

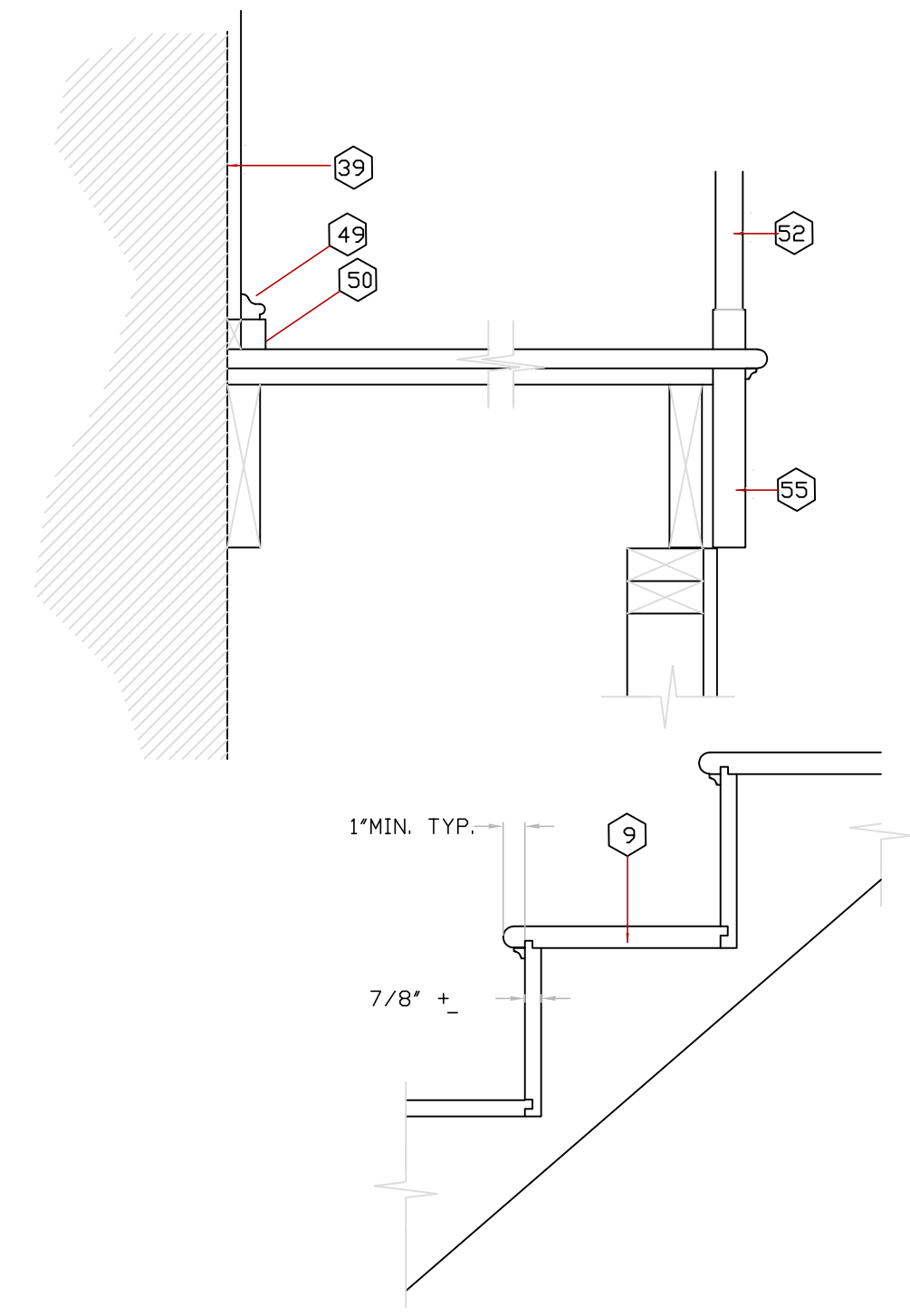


4 WOOD STAIR DETAIL
SCALE 1 1/2" = 1'



2 STAIR FINISH DETAIL
SCALE 1 1/2" = 1'

- STAIR NOTES**
- HANDRAILS**
 - A. PROVIDE HANDRAIL - MINIMUM ONE SIDE
 - B. HEIGHT OF RAILING ABOVE TREADS - 32" (30" MIN. - 34" MAX.)
 - C. EXTEND HANDRAILS 12" NOSING OF TOP TREAD AND 12" PLUS TREAD WIDTH BEYOND THE BOTTOM NOSING.
 - D. RETURN AND TERMINATE ENDS OF HANDRAILS TO WALL OR POST.
 - E. PROVIDE 1 1/2" CLEAR BETWEEN HANDRAIL AND WALL.
 - F. CROSS-SECTIONAL DIMENSION HAND GRIP PORTION OF HANDRAILS: 1 1/4" MINIMUM.
 - TREADS**
 - A. ALL TREADS SURFACES ARE TO BE SLIP RESISTANT
 - B. ALL EXPOSED EDGES OF TREADS ARE TO BE SMOOTH, ROUNDED OR CHAMFERED. NO ABRUPT EDGES AT LOWER FRONT EDGE OF NOSING
 - NOSING**
 - A. NOSING PROJECTION PAST FACE OF RISER BELOW TO BE 1 1/2" MAXIMUM.
 - RISERS**
 - A. SUFFICIENTLY SOLID TO PREVENT PASSAGE OF OBJECTS LARGER THAN 1/4".
 - DIMENSIONS** (UNLESS NOTED OTHERWISE)
 - A. RISERS: 7" MAX. VERT., 4" MIN.
 - B. TREADS: 11" MINIMUM HORIZONTAL.
 - MAXIMUM VARIATION IN HEIGHT OF RISERS OR WIDTH OF TREADS IN ANY GIVEN FLIGHT: 1/4"**
 - MINIMUM HEADROOM CLEARANCE MEASURED VERTICALLY FROM THE PLANE OF THE CEILING FINISH TANGENT TO THE TREAD NOSING AT THE STAIRWELL: 6'-8" MINIMUM CLEAR**
 - MAXIMUM VERTICAL DISTANCE BETWEEN STAIRWAY LANDINGS: 12'-0"**
 - STAIR LANDINGS:**
 - A. STAIR LANDINGS SHALL BE THE SAME WIDTH AND DEPTH AS THE STAIR IT SERVES WITH MINIMUM DIMENSIONS OF 36" EACH WAY.
 - B. PROVIDE HANDRAIL AT STAIRS AND 36" HIGH GUARD RAIL (42" HIGH MINIMUM IF OCCUPANCY LOAD IS HIGHER THAN 100) AT STAIR LANDINGS WITH CLEAR SPACE BETWEEN BALLUSTERS AND HORIZONTAL TOP RAIL AT 4" MIN. CLR. TYPICAL.
 - SEE INTERIOR FINISH SCHEDULE DETAILS AT PLANS FOR STAIR FINISHES.**
 - HANDICAPPED COMPLIANCE:**
 - A. MARK WITH A 2" WIDE STRIPE OF CONTRASTING COLOR PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING. THE UPPER APPROACH AND LOWER TREAD OF EACH STAIR USE A SLIP RESISTANT MATERIAL FOR THE STRIP AT EACH NOSING AND LANDING.
 - ENCLOSED USABLE SPACE UNDER STAIRS:**
 - A. SHALL BE PROTECTED WITH ONE-HOUR FIRE RESISTIVE PROTECTION.



1 WOOD STAIR DETAIL
SCALE 1 1/2" = 1'

REV	REVISION	DATE

REVISIONS

DRAWN BY; MDH
CHECKED BY; RE
DATE; 7/24/25
DRAWING NO.